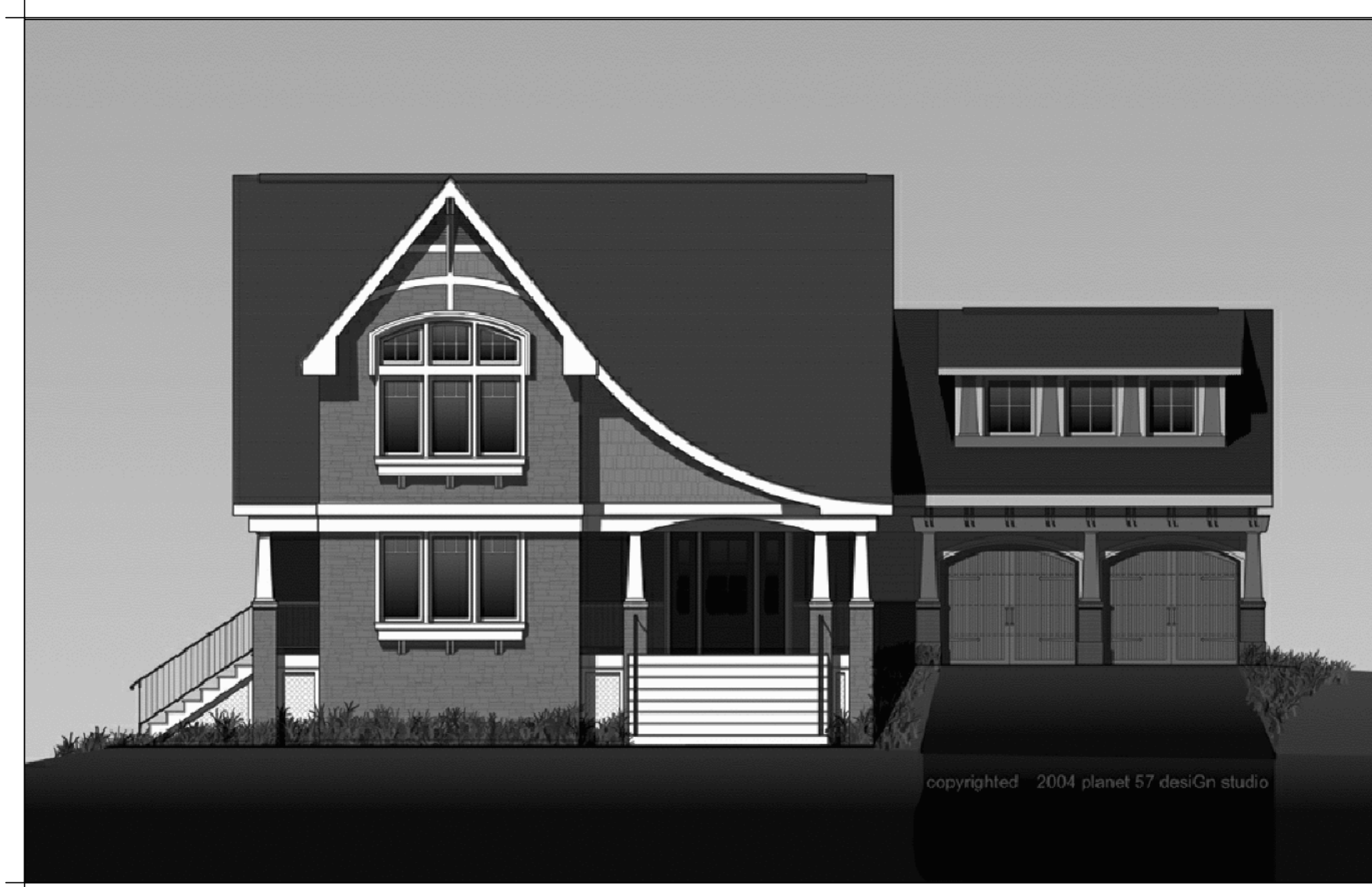


7202 MICHAEL PLACE

7202 MICHAEL PLACE
FALLS CHURCH, VIRGINIA 22046

CITY OF FALLS CHURCH / COUNTY OF FAIRFAX, VIRGINIA



OWNER

Capital Reality Venture, LLC
103 West Board Street
Suite 400
Falls Church, Virginia 22046
703.533.8660

DESIGNER

Mr. Rich Hostelley
planet 57 desiGn studio
9007 opera alley
Manassas, Virginia 20110
703.257.9669
rich@planet57designstudio.com

CONTRACTOR

TO BE DETERMINED

DESIGN CRITERIA

SCOPE OF WORK
CONSTRUCTION OF NEW TWO CAR GARAGE WITH MASTER BATH AND GUEST ROOM ABOVE. TWO STORY ADDITION ON EXISTING FOUNDATION WALLS. ALTERATIONS TO EXISTING BASEMENT.

BUILDING CODE
UNIFORM VIRGINIA STATE BUILDING CODE
INTERNATIONAL RESIDENTIAL RESIDENTIAL CODE (I.R.C.) 2000

USE GROUP
SINGLE FAMILY RESIDENTIAL

CONSTRUCTION TYPE
5B

ZONING
JURISDICTION: CITY OF FALLS CHURCH - COUNTY OF FAIRFAX, VIRGINIA
ZONED: R4
LOT: 97
SECTION: 5
SUBDIVISION: DONNA LEE GARDENS
LOT AREA: 10,547 SQ. FT.

SETBACK REQUIREMENTS

| SETBACK | REQUIRED | PROPOSED |
|---------|----------|----------|
| FRONT | 30 FEET | 32 FEET |
| SIDE | 10 FEET | 12 FEET |
| REAR | 25 FEET | 26 FEET |

NUMBER OF STORIES
EXISTING: 1 STORIES
PROPOSED: 2 STORIES

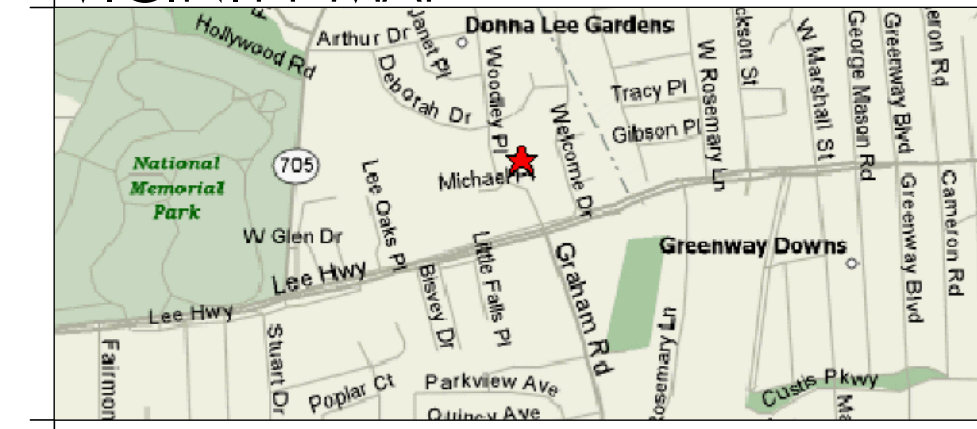
BUILDING HEIGHT
EXISTING: 22 FEET ± TO EXISTING ROOF RIDGE
PROPOSED: 31 FEET ± TO SECOND FLOOR ROOF RIDGE

BUILDING SQUARE FOOTAGE

| FLOOR | EXISTING | ADDITION | PROPOSED |
|----------|---------------|---------------|---------------|
| BASEMENT | 932 SQ. FT. | NO CHANGE | 932 EX'G |
| FIRST | 932 SQ. FT. | 748 SQ. FT. | 1,680 SQ. FT. |
| SECOND | | | 1,800 SQ. FT. |
| TOTAL | 1,864 SQ. FT. | 2,548 SQ. FT. | 3,480 SQ. FT. |

SEE SHEET SN-1 FOR STRUCTURAL DESIGN LOADS AND NOTATION.

VICINITY MAP



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CS COVER SHEET
GN-1 GENERAL CONSTRUCTION DOCUMENTATION
NOTES, SPECS, ELECTRIC NOTES, SITE PLAN
SN-1 STRUCTURAL NOTES

D - 1 DEMO PLAN

ARCHITECTURAL

A - 1.1 BASEMENT PLAN
A - 1.2 FIRST FLOOR PLAN
A - 1.3 SECOND FLOOR PLAN
A - 2.1 FRONT ELEVATION
A - 2.2 RIGHT SIDE ELEVATION
A - 2.3 LEFT SIDE ELEVATION
A - 2.4 REAR ELEVATION
A - 3.1 BUILDING SECTIONS
A - 3.2 BUILDING SECTIONS
A - 3.3 WALL SECTIONS
A - 3.4 WALL SECTIONS
A - 4.1 ROOM - DOOR SCHEDULES
A - 4.2 WINDOW SCHEDULE
A - 4.3 APPLIANCE - FIXTURE SCHEDULES
A - 5.1 FOUNDATION PLAN
A - 5.2 FIRST FLOOR FRAMING PLAN
A - 5.3 SECOND FLOOR FRAMING PLAN
A - 5.4 ROOF FRAMING PLAN
A - 6.1 CONSTRUCTION DETAILS
A - 6.2 CONSTRUCTION DETAILS

ELECTRICAL

E - 1.1 BASEMENT ELECTRIC PLAN
E - 1.2 FIRST FLOOR ELECTRIC PLAN
E - 1.3 SECOND FLOOR ELECTRIC PLAN

ABBREVIATIONS

| | | | | | |
|---------|-----------------------|--------|----------------------------------|----------|------------------------|
| A/C | AIR CONDITIONER | G. | GAS | R. | RADIUS |
| A.C. | ALTERNATING CURRENT | GA. | GAUGE | R. | RISER |
| ADDN | ADDITION | GAL. | GALLON | REF. | REFRIGERANCE |
| A.F.F. | ABOVE FINISHED FLOOR | G.B. | GYPSSUM WALLBOARD | REFR. | REFRIGERATOR |
| A.H.U. | AIR HANDLING UNIT | GEN'L | GENERAL | REG. | REGISTER |
| ALUM. | ALUMINUM | GFCI | GROUND FAULT CIRCUIT INTERRUPTER | REINFC. | REINFORCEMENT(ING) |
| APPROX. | APPROXIMATE | GL. | GLASS | REQ'D | REQUIRED |
| ARCH'T. | ARCHITECT | GL./T. | GLASS/TEMPERED | RET. | RETURN |
| AVG. | AVERAGE | GND. | GROUND | REV. | REVISION |
| | | GYP. | GYPSSUM | RF. | ROOF |
| | | | | RGH. | ROUGH |
| BD. | BOARD | H. | HORIZONTAL | S. | SEWER LINE |
| BIT. | BITUMINOUS | H.B. | HOSE BIB | SAN. | SANITARY |
| BLDG. | BUILDING | HT. | HEIGHT | SCHD. | SCHEDULE |
| BRG. | BRIDGING | H.M. | HOLLOW METAL | SEW. | SEWER |
| BRG. | BEARING | H.M. | HOLLOW METAL | SH. | SHOWER |
| B.SMT. | BASEMENT | HORIZ. | HORIZONTAL | SHT. | SHEET |
| B.T.U. | BRITISH THERMAL UNIT | H.P. | HORSEPOWER | SHT. | SPECIFICATION(S) |
| B.U.R. | BUILT-UP ROOFING | HTG. | HEATING | SO. | SQUARE |
| | | HTR. | HEATER | S.S. | STAINLESS STEEL |
| | | H.W. | HOT WATER | STAG. | STAGGERED |
| C. | COURSE(S) | I.D. | INSIDE DIAMETER | STD. | STANDARD |
| CAB'T | CABINET | IN. | INCH | STO. | STORAGE |
| C.&G. | CURB AND GUTTER | INCL. | INCLUDE(NG) | STL. | STEEL |
| CEM. | CEMENT(IOUS) | INT. | INTERIOR | STRUC'TL | STRUCTURAL |
| CER. | CERAMIC | INT. | INTERIOR | STY. | STORY |
| C.F.M. | CUBIC FEET PER MINUTE | JAN. | JANITOR | SUP. | SUPPLY |
| CKT. | CIRCUIT | JST. | JOIST | SUSP. | SUSPENDED |
| C/L | CENTER LINE | JT. | JOINT | SYM. | SYMBOL |
| CLG. | CEILING | KIT. | KITCHEN | SYS. | SYSTEM |
| CLK. | CAULK | LAM. | LAMINATE | T. | TILE |
| CLK. | CAULKING | LAV. | LAVATORY | T.&G. | TONGUE AND GROOVE |
| CLO. | CLOSET | LB. | POUND | TAN. | TANGENT |
| CLR. | CLEAR | LT. | LIGHTING | TBD | TO BE DETERMINED |
| C.M.U. | CONCRETE MASONRY UNIT | MEMBR. | MEMBRANE | TEL. | TELEPHONE |
| C.O. | CLEANOUT | MECH. | MECHANICAL | TECH. | TECHNICAL |
| COL. | COLUMN | MTL. | METAL | TEMP. | TEMPERATURE |
| COM. | COMMON | MEZZ. | MEZZANINE | THK. | THICK(NESS) |
| CONC. | CONCRETE | MFD. | MANUFACTURED | TOPO. | TOPOGRAPHY(ICAL) |
| CONN. | CONNECTION | MFR. | MANUFACTURER | TR. | TREAD |
| CONSTR. | CONSTRUCTION | MIN. | MINIMUM | TYP. | TYPICAL |
| CORR. | CORRIDOR | M.O. | MASONRY OPENING | UNFIN. | UNFINISHED |
| C.T. | CERAMIC TILE | N. | NORTH | UNGR. | UNDERGROUND |
| C.W. | COLD WATER | N.O.T. | NOT IN CONTRACT | U.N.D. | UNLESS OTHERWISE NOTED |
| | | N.O.M. | NOMINAL | U/S | UNDERSIDE |
| DBL. | DOUBLE | N. | NORTH | V. | VOLTS |
| D.C. | DIRECT CURRENT | N.I.C. | NOT IN CONTRACT | VAC. | VACUUM |
| DEG. | DEGREE | N.O.M. | NOMINAL | VAPOR | VAPOR |
| DET. | DETAIL | N.O.M. | NOMINAL | VAR. | VARIABLE |
| DIA. | DIAMETER | O.C. | ON CENTER | VAR. | VARIABLES |
| DIAG. | DIAGONAL | OPN'G | OPENING | V.B. | VAPOR BARRIER |
| DIFF. | DIFFUSER | OPP. | OPPOSITE | V.C.T. | VINYL COMPOSITION TILE |
| DIM. | DIMENSION | O.H.D. | OVERHEAD DOOR | VENT. | VENTILATION |
| DISC. | DISCONNECT | P. | PUSH BUTTON | VERT. | VERTICAL |
| DISC. | DISCONNECT | PH. | PHASE | V.F. | VOLUME |
| DN. | DOWN | PL. | PLATE | V.L. | VINYL TILE |
| DR. | DOOR | P.L. | PROPERTY LINE | V.T. | VENT THRU ROOF |
| D.S. | DOWNSPROUT | PLAM. | PLASTIC LAMINATE | V.W.C. | VINYL WALL COVERING |
| D/S | DOORSTOP | PLAS. | PLASTER | | |
| D.W. | DISHWASHER | PLYWD. | PLYWOOD | | |
| DWG. | DRAWING | PR. | PAIR | | |
| | | PR. | PREFABRICATED | | |
| | | PRES. | PRESSURE | | |
| EA. | EACH | PROJ. | PROJECT | | |
| ELEV. | ELEVATION (HEIGHT) | PROP'D | PROPOSED | | |
| ELEV. | ELEVATION (FACADE) | P.S.I. | POUNDS PER SQUARE INCH | | |
| EMER. | EMERGENCY | PTD. | PAINTED | | |
| ENGR. | ENGINEER | Q.T. | QUARRY TILE | | |
| EQUIP. | EQUIPMENT | QTY. | QUANTITY | | |
| EX'G | EXISTING | | | | |
| EXH. | EXHAUST | | | | |
| EXP. | EXPANSION | | | | |
| EXT. | EXTERIOR | | | | |
| | | | | | |
| F.D. | FLOOR DRAIN | | | | |
| FIN. | FINISH | | | | |
| FL. | FLOOR | | | | |
| FLUOR. | FLOOR FLUORESCENT | | | | |
| F.P.M. | FEET PER MINUTE | | | | |
| FT. | FOOT | | | | |

SYMBOLS AND MATERIALS

| | | | |
|--|-----------------|--|-------------------|
| | DOOR TYPE | | WOOD |
| | WINDOW TYPE | | C.M.U. |
| | ROOM NAME | | BRICK |
| | ROOM NUMBER | | CONCRETE |
| | SECTION | | UNDISTURBED EARTH |
| | ELEVATION | | GYPSSUM |
| | ENLARGED DETAIL | | RIGID INSULATION |
| | ELEVATION | | PLYWOOD |
| | KEYNOTE | | WOOD (ROUGH) |
| | | | GRAVEL/STONE |
| | | | BATT INSULATION |
| | | | STEEL |

GENERAL NOTES

- CONTRACTOR SHALL STABILIZE ALL DISTURBED SOIL AREA WITH SEED & STRAW WHERE APPLICABLE U.N.O.
- CONTRACTOR SHALL INCLUDE IN THEIR PRICE ALL ITEMS REASONABLY INFERRED BUT NOT SPECIFICALLY SHOWN.
- EX'G WALLS/ SURFACES AFFECTED BY NEW WORK SHALL BE REFINISHED TO NEAREST CORNER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE W/ ALL APPLICABLE CODES.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-CONTRACTORS VISIT THE JOB SITE, REVIEW THE PLANS AND SPECIFICATIONS, UNDERSTAND THE SCOPE OF WORK IN ITS ENTIRETY, AND POINT OUT ANY INCONSISTENCIES PRIOR TO BIDDING / CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS PRIOR TO FABRICATION OR INSTALLATION OF WORK.
- CONTRACTOR SHALL NOT SCALE DRAWINGS AND DISCREPANCIES BETWEEN EXISTING CONDITION AND DRAWINGS SHALL BE REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL SURFACES DAMAGED BY NEW CONSTRUCTION SHALL BE REPAIRED, PATCHED, OR REFINISHED TO MATCH ADJACENT MATERIALS.

ITEMS NOT IN CONTRACT

THE FOLLOWING ITEMS ARE NOT INCLUDED IN THE SCOPE OF WORK COVERED BY THESE DOCUMENTS. ITEMS LISTED BELOW SHALL BE EXCLUDED FROM THE BID AMOUNT.

- LANDSCAPING
- RETAINING WALLS
- GRADING PLANS

ALTERNATES

THE CONTRACTOR SHALL PROVIDE ALTERNATE PRICING FOR THE FOLLOWING ITEMS. THE CONTRACTORS PRICE SHALL INCLUDE THE NET AND OR DEDUCT COST OVER OR BELOW THE BASE COST AS PROVIDED IN THE BASE BID. CONTRACTOR SHOULD CONSIDER AND INCLUDE ALL COSTS ASSOCIATED WITH MAKING STATED CHANGE.

ADD-ALT. NO. 1 -

DRAWING STANDARDS

- ALL DIMENSIONS ARE TO FINISHED WALL, U.N.O.
- CONTRACTOR TO COORDINATE ALL ELECTRICAL, PLUMBING AND HVAC ROUTING THROUGH CONCEALED SPACES. CONTRACTOR SHALL COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. DRAWINGS PROVIDE SCHEMATIC ARRANGEMENTS ONLY.
- CONTRACTOR SHALL NOTIFY DESIGNER TO VERIFY WALL PLACEMENT IN CRITICAL AREAS WHEN CHALK LINE LAYOUT HAS BEEN COMPLETED BY THE CONTRACTOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE CLEARANCES WITH ALL OTHER TRADES.
- ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- I.B.D. (TO BE DETERMINED) INDICATES AN ITEM TO BE SELECTED BY THE APPROPRIATE PARTY AT A LATER DATE.
- V.L.F. (VERIFY IN FIELD) INDICATES AN ITEM OR DIMENSION THAT IS ASSUMED TO EXIST BUT REQUIRES VERIFICATION DURING CONSTRUCTION. CONSULT DESIGNER IF DISCREPANCY EXISTS.
- D.L.F. (DETERMINE IN FIELD) INDICATES A DIMENSION WHICH IS DETERMINED BY OTHER CONDITIONS SPECIFIED ON THE DRAWINGS.
- A DIMENSION LABELED "CLB" INDICATES THAT THE SPECIFIED CRITICAL DIMENSION BE MAINTAINED.
- A DIMENSION LABELED "MIN." INDICATES THAT THE REQUIRED DIMENSION MAY NOT BE LESS THAN THE SPECIFIED DIMENSION.

ALLOWANCES

- THE FOLLOWING ITEMS SHALL BE INCLUDED IN THE CONTRACT BY ALLOWANCE. THE CONTRACTOR SHALL INCLUDE THE AMOUNTS INDICATED AS SPECIFIED WITHIN THE DRAWINGS, UNLESS OTHERWISE PROVIDED:
- THE ALLOWANCES SHALL COVER THE COST TO THE CONTRACTOR OF ALL MATERIALS AND EQUIPMENT DELIVERED AT THE SITE AND ALL REQUIRED TAXES, LESS APPLICABLE TRADE DISCOUNTS.
- THE CONTRACTORS COST FOR UNLOADING, HANDLING LABOR, INSTALLATION, OVERHEAD, PROFIT, AND OTHER EXPENSES SHALL BE INCLUDED IN THE BASE BID, NOT THE ALLOWANCES.
- WHENEVER COSTS ARE GREATER THAN OR LESS THAN THE ALLOWANCE PROVIDED, THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY BY CHANGE ORDER. ACTUAL COSTS WILL BE USED TO DETERMINE THE DIFFERENCE IN ALLOWANCE AND COST.
- THE FOLLOWING ALLOWANCES SHOULD BE INCLUDED ON THE BASE BID:
- NO. 1 FINISHES NOT SPECIFIED AND INDICATED BY ALLOWANCE ON FINISH SCHEDULE.
- NO. 2 PLUMBING & ELECTRICAL FIXTURES NOT SPECIFIED AND INDICATED BY ALLOWANCE ON PLUMBING/ELECTRICAL SCHEDULE.
- NO. 3 RECESSED MIRRORING MEDICINE CABINETS, \$100 EACH.
- NO. 4 MASTER BATHROOM MARBLE COUNTER-TOP \$1,000
- NO. 5 TOILET ACCESSORY ALLOWANCE (TOILET PAPER HOLDER, TOWEL BARS, ADA GRAB BARS, ETC.) = \$550.00

ITEMS SUPPLIED BY OWNER

THE FOLLOWING ITEMS SHALL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

- RANGE
- DOUBLE OVEN
- WARMER
- REFRIGERATOR
- MICROWAVE OVEN
- DISHWASHER
- WASHER / DRIER



MICHAEL PLACE
7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA 22046
COUNTY OF FAIRFAX, VIRGINIA

planet 57 desiGn studio
9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

COVER SHEET

THIS COVER SHEET IS A PART OF THE CONTRACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE DESIGNER.

| ISSUE DATE | DESCRIPTION |
|------------|------------------------|
| 01.11.2004 | 100% CLIENT SUBMISSION |
| 01.03.2004 | 100% CLIENT SUBMISSION |
| 01.17.2003 | 100% CLIENT SUBMISSION |
| 01.2003 | PERMIT SUBMISSION |

| REVISION DATE | DESCRIPTION |
|---------------|-------------|
| | |
| | |
| | |

04 - 08 - 025

CS



MICHAEL PLACE
7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA 22046
COUNTY OF FAIRFAX, VIRGINIA

PLANNET 57 DESIGN STUDIO
ARCHITECTURE
9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

BASEMENT FLOOR PLAN

THIS PLAN IS THE PROPERTY OF PLANNET 57 DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF PLANNET 57 DESIGN STUDIO IS PROHIBITED. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD CONDITIONS AND FOR OBTAINING ALL NECESSARY FIELD DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FIELD DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FIELD DATA.

| ISSUE DATE | DESCRIPTION |
|------------|------------------------|
| 01.11.2004 | 100% CLIENT SUBMISSION |
| 01.03.2004 | 75% CLIENT SUBMISSION |
| 01.17.2005 | 100% CLIENT SUBMISSION |
| 07.2005 | PERMIT SUBMISSION |

| REVISION DATE | DATE | DESCRIPTION |
|---------------|------|-------------|
| | | |

04 - 08 - 025

A - 1.1

PLAN KEYNOTES

- KITCHEN COUNTER, CABINETS, AND ISLAND LAYOUT IS CONCEPTUAL. FINAL LAYOUT TO BE DETERMINED BY KITCHEN DESIGNER AND APPROVED BY OWNER. SEE ALLOWANCE ON COVER SHEET.
- RESERVE 1" MIN. AS REQ'D. TO ACHIEVE 4" MIN. FALL IN 10'- REUSE AS MUCH SPOIL DIRT FROM EXCAVATION AS POSSIBLE ON SITE.
- FLUSH FLOOR TRANSITION. PROVIDE METAL EDGE STRIP (SCHLUTER OR EQUAL) BETWEEN CARPET & CERAMIC TILE FLOORS. CENTER TRANSITION UNDER CLOSED DOOR, WHERE OCCURS. SEE DETAIL 3/A-6.1
- EXISTING CONSTRUCTION TO REMAIN.
- SEE SHEET A-4.1 FOR WALL TYPE SCHEDULES.
- 42" HIGH WALL W/P.T.D. 2x6 WOOD TOP CAP. SEE DETAIL 13/A-6.1
- R-13 KRAFT FACED BATT INSULATION @ EXTERIOR WALLS, TYP.
- BRICK WATERTABLE.
- NEW CONC. SLAB, SEE FOUNDATION PLAN.
- PROVIDE 2" P.T.D. GYP. BD. WALLS.
- PROVIDE 2" CONC. BD. @ MET WALL LOCATIONS.
- TILED SHOWER W/ MEMBRANE LINER. SLOPED TILE SEAT SEE DETAIL 1/A-6.1. TILE & GLASS SHOWER DOOR TO BE SUPPLIED AND INSTALLED BY OWNER.
- RECESSED MEDICINE CABINET.
- DECORATIVE MIRROR, PROVIDED BY OWNER. CONTRACTOR TO COORDINATE CENTER LINE OF MIRROR W/ CENTER OF SINK.
- RETAINING WALL, THIS LOCATION. SEE DETAIL.
- PROVIDE BLOCKING AS REQUIRED FOR TONEL BAR. COORDINATE WITH OWNER LOCATION.
- CONFIRM LOCATION OF NEW HVAC UNIT WITH OWNER.
- 36" HIGH WORK TOP. COORDINATE WITH OWNER FINISHED MATERIALS, AND LOCATION OF 3" GROMMET, SEE DETAIL 10/A-6.1
- NICHE: SEE DETAIL 12/A-10
MANUF. BRADDECOR
STYLE: FRAM - N503 / RECESSED NICHE N.501
FINISH: PO-1
- SEE SHEETS 4.1 THRU 4.3 FOR SCHEDULES.
- BENCH SEAT, SEE DETAIL 9/A-6.1
- VANITY AND COUNTER TOP.
- PROVIDE ATTIC ACCESS PANEL (3/4" MOD. PLYMD. P.T.D. WITH CASING @ PERIMETER).
- METAL HAND RAIL @ 36" ABOVE NOSING, ANCHORED TO RETAINING WALL PER MANUFACTURE SPECS. V.I.E. STONE VENEER CONDITIONS W/ STONE VENEER MANUFACTURE SPECS. SEE DETAIL 5/A-6.2
- SOUND ATTENUATING BATT INSULATION.
- STAIR NOTE: MAX RISE 8", MIN. TRED 9".
- BRACKET ABOVE, SEE ELEVATION AND DETAIL 2/A-6.1 TYP.
- PROVIDE ZERO CLEARANCE FIRE PLACE
MANUF. HEAT-N-CLO
STYLE: ?
FINISH: BLACK
- PROVIDE GLASS DOORS, SUBMIT CUT SHEET TO OWNER FOR APPROVAL.
- PROVIDE GLASS DOORS, SUBMIT CUT SHEET TO OWNER FOR APPROVAL, 3 SIDED
- 16" X 16" CMU PIER, ON LONE FTG. SEE FOUNDATION PLAN, TYP.
- TREX, OR EQUAL, DECKING ON P.T. FRAMING.
- DIRECTION OF WOOD FLOORING.
- PATIO / LANDSCAPING NOT IN CONTACT.
- TILED TUB SURROUND, SEE DETAIL 1/A-6.2
- FRAMLESS GLASS SHOWER DOOR.
- 10" SQ. P.T.D. 3/4" COLUMN OVER WD. CABINET, SEE DETAIL 2/A-6.2
- 10" SQ. P.T.D. COLUMN, SEE DETAIL 3/A-6.2
- PLASTER, SEE DETAIL 4/A-6.2
- 42" HIGH 2X6 paneled wall w/ P.T.D. 2X6 WOOD CAP.
- BULKHEAD ABOVE, SEE PLANS FOR ELEVATION. SEE DETAIL 6/A-6.2
- SEE SHEET A-4.3 FOR APPLIANCE AND PLUMBING SCHEDULE.
- PROVIDE EXTERIOR DRAIN, SLOPE CONC. SLAB TO DRAIN.
- PROVIDE 16" X 16" SCREENED VENT.
- PROVIDE 3" P.T. ACCESS PANEL.
- PROVIDE 4" GRAVEL W/ 6 MIL. U.B. @ CRAWL SPACE LOCATION.
- STONE VENEER, ATTACHED TO BUILDING PER MANUF. SPECS. SEE MAT. SCHEDULE, A-2.1, TYP.
- NEW FOUNDATION WALL, SEE STRUCTURAL DRAWING'S.
- COLUMN, SEE STRUCTURAL DRAWING'S.
- WOOD HANDRAIL / PICKETS, COORDINATE W/ OWNER TYPE.
- PROVIDE 5 WHITE MELAMINE SLEEVES, SEE PLAN FOR SIZE.
- STONE VENEER WATER TABLE, SEE CLEV. FOR MATERIAL LIST.
- PROVIDE TYPE X 5/8 GYP. BRD. ALL WALLS AND CEILING THIS AREA.
- PROVIDE METAL HANDRAIL, GUARD RAIL & PICKETS, CONTRACTOR TO PROVIDE CUT SHEET TO OWNER FOR APPROVAL.
- WOOD STAIR / TREAD / RISER.
- BRICK, ROMOLOX SILL.
- P.T.D. WOOD COLUMN ON BRCK / CMU PER W/ BRACKET ABOVE. SEE DETAIL 7.
- SHADOW BOX, SEE DETAIL 6/A-6.2
- CROWN MOULDING ABOVE, SEE DETAIL 7/A-6.2
- PROVIDE OVERFLOW FLOOR DRAIN.
- SEE SHEET A-4.1 FOR WALL TYPES.
- WINDOW MEETS NATIONAL EGREE REQUIREMENTS.
- TEMPERED GLAZING REQUIRED.
- HOLD 6"-8" CLEARANCE

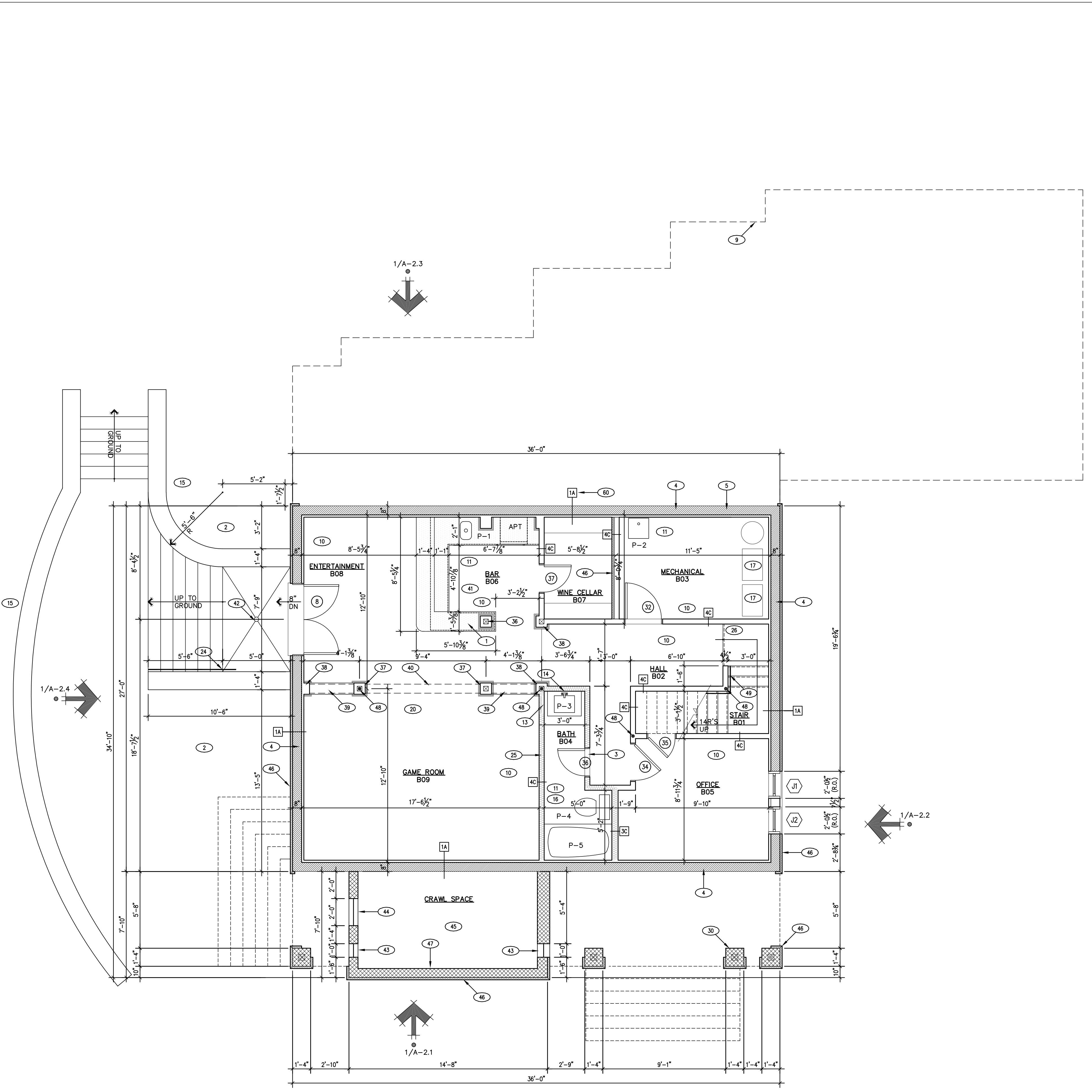
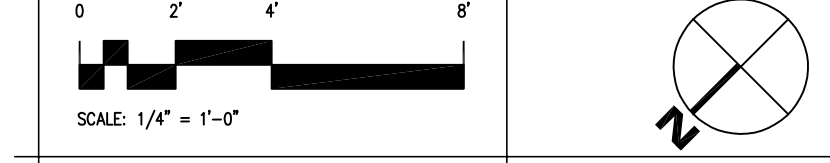
GENERAL PLAN NOTES

- ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - U.N.O.
- CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT.
- CONTRACTOR SHALL PATCH AND PRE-PAIR ALL SURFACES AS REQUIRED FOR NEW WORK.
- DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL PLACED ON HINGED SIDE. U.N.O.
- PROVIDED SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH DESIGNER AND OWNER.
- ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCHLUTER EDGE TRIM WHEN ABUTTING TILE WITH DISSIMILAR MATERIALS.
- ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING, U.N.O.
- ALL GWB PARTIAL HT. WALLS SHALL HAVE PITCOON KNEE BRACE KIT SKB-46 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL.
- ALL CLOSETS TO HAVE 1-3/4" ALUMINUM ROD AT 5'-0" A.F.F. WITH 12" WIDE WHITE MELAMINE SHELF WITH FINISHED EDGE, U.N.O.
- SLOPE GRADE 1/8" PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.
- PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK / JOINT ON EACH SIDE.
- CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHALL / PLAN REVIEWER.
- ALL EXTERIOR WALL DIMENSIONS ARE TO SHEATHING.

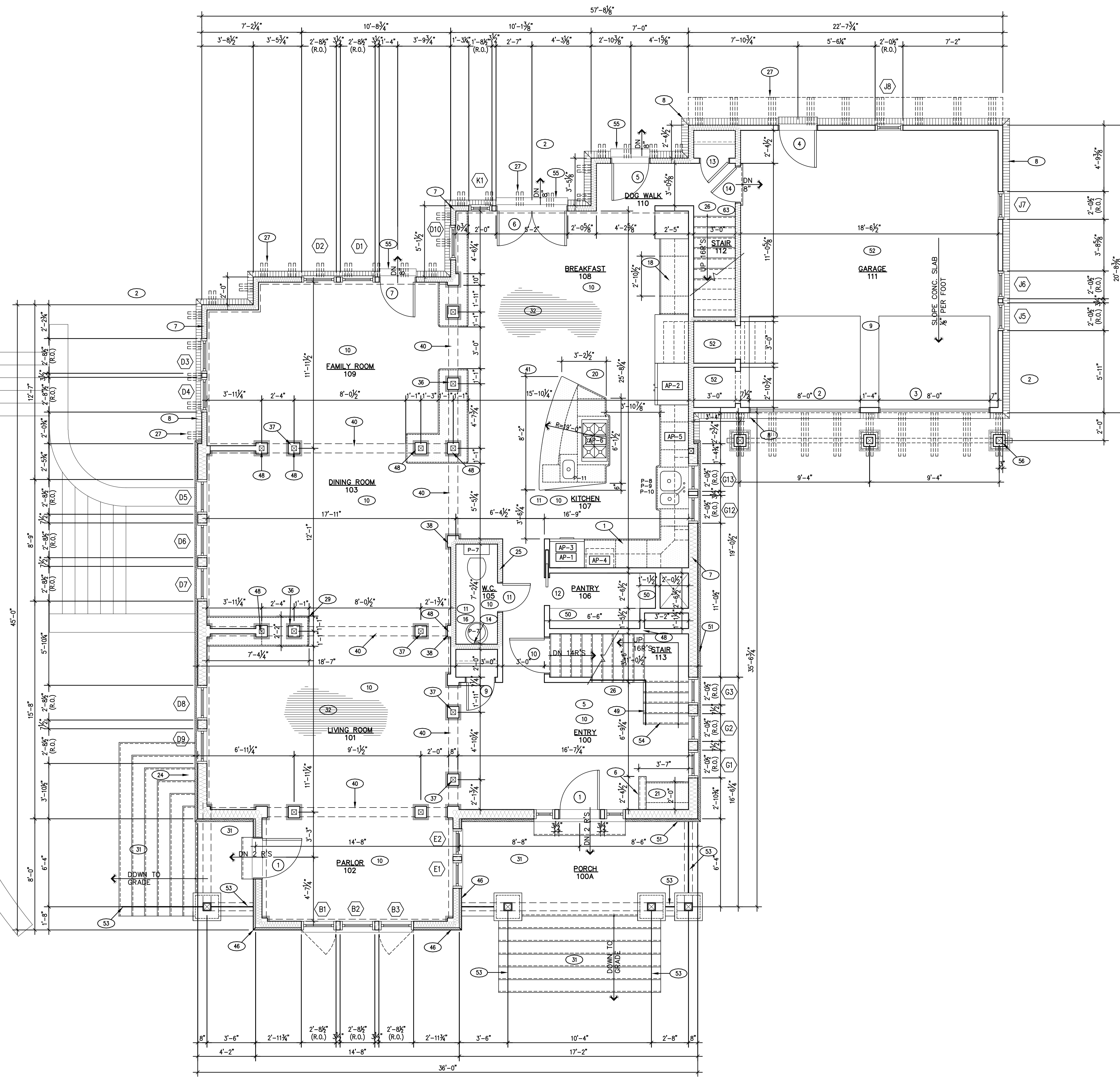
LEGEND

- ITEMS ABOVE, OR EQUIPMENT
- EXISTING WALL / CONSTRUCTION TO REMAIN
- NEW WALL / CONSTRUCTION
- BATT INSULATION

GRAPHIC SCALE SITE DIRECTION



1 BASEMENT FLOOR PLAN
A-1.1 SCALE 1/2" = 1'-0"



1 FIRST FLOOR PLAN
A-1.2 SCALE: 1/4" = 1'-0"

PLAN KEYNOTES

- 1 KITCHEN COUNTER, CABINETS, AND ISLAND LAYOUT IS CONCEPTUAL. FINAL LAYOUT TO BE DETERMINED BY KITCHEN DESIGNER AND APPROVED BY OWNER. SEE ALLOWANCE ON COVER SHEET.
- 2 REAR YARD AS REQ'D. TO ACHIEVE 4" MIN. FALL IN 10' - REUSE AS MUCH SPOIL DIRT FROM EXCAVATION AS POSSIBLE ON SITE.
- 3 FLUSH FLOOR TRANSITION. PROVIDE METAL EDGE STRIP (SCHLUTER OR EQUAL) BETWEEN CABINET & CERAMIC TILE FLOORS. CENTER TRANSITION UNDER CLOSED DOOR, WHERE OCCURS. SEE DETAIL 3/A-6.1
- 4 EXISTING CONSTRUCTION TO REMAIN.
- 5 SEE SHEET A-4.1 FOR WALL TYPE SCHEDULES.
- 6 42" HIGH WALL W/PTD. 2x6 WOOD TOP CAP. SEE DETAIL 13/A-6.1
- 7 R-13 KRAFT FACED BATT INSULATION @ EXTERIOR WALLS, TYP.
- 8 BRICK WATERTABLE.
- 9 NEW CONC. SLAB. SEE FOUNDATION PLAN.
- 10 PROVIDE 3/4" PTD. GYP. BD. WALLS.
- 11 PROVIDE 3/4" CONC. BD. @ MET WALL LOCATIONS.
- 12 TILED SHOWER W/ MEMBRANE LINER, SLOPED TILE SEAT SEE DETAIL 1/A-6.1. TILE & GLASS SHOWER DOOR TO BE SUPPLIED AND INSTALLED BY OWNER.
- 13 RECESSED MEDICINE CABINET.
- 14 DECORATIVE MIRROR, PROVIDED BY OWNER. CONTRACTOR TO COORDINATE CENTER LINE OF MIRROR W/ CENTER OF SWK.
- 15 RETAINING WALL. THIS LOCATION, SEE DETAIL.
- 16 PROVIDE BLOCKING AS REQUIRED FOR TOMEI BAR. COORDINATE WITH OWNER LOCATION.
- 17 CONFIRM LOCATION OF NEW HVAC UNIT WITH OWNER.
- 18 36" HIGH WOOD TOP. COORDINATE WITH OWNER FINISHED MATERIALS, AND LOCATION OF 3" GROMMET, SEE DETAIL 10/A-6.1
- 19 NICHE: SEE DETAIL 12/A-10
 MANUF: ORACDECOR
 STYLE FRAME - N.503 / RECESSED NICHE N.501
 FINISH: PO-1
 SEE SHEETS 4.1 THRU 4.3 FOR SCHEDULES.
- 20 BENCH SEAT, SEE DETAIL 9/A-6.1
- 21 VANITY AND COUNTER TOP.
- 22 PROVIDE ATTIC ACCESS PANEL (3/4" MDO. PLYMD. PTD. WITH CASING @ PERIMETER).
- 23 METAL HAND RAIL @ 36" ABOVE NOSING, ANCHORED TO RETAINING WALL, PER MANUFACTURE SPECS. V.I.F. STONE VENEER CONDITIONS W/ STONE VENEER MANUFACTURES SPECS. SEE DETAIL 5/A-6.2
- 24 SOUND ATTENUATING BATT INSULATION.
- 25 STAR NOTE: MAX RISE 8", MIN. TRED 9".
- 26 BRACKET ABOVE, SEE ELEVATION AND DETAIL 2/A-6.1 TYP.
- 27 PROVIDE ZERO CLEARANCE FIRE PLACE
 MANUF: HEAT-N-GLO
 STYLE: 1
 FINISH: BLACK
 PROVIDE GLASS DOORS, SUBMIT CUT SHEET TO OWNER FOR APPROVAL.
- 28 PROVIDE GLASS DOORS, SUBMIT CUT SHEET TO OWNER FOR APPROVAL, 3 SIDED
- 29 16" X 16" CMU PIER, ON LONG FLE, SEE FOUNDATION PLAN, TYP.
- 30 TIREX, OR EQUAL, DECKING ON P.T. FRAMING.
- 31 DIRECTION OF WOOD FLOORING.
- 32 PATIO / LANDSCAPING NOT IN CONTACT.
- 33 TILED TUB SURROUND, SEE DETAIL 1/A-6.2
- 34 FRAMELESS GLASS SHOWER DOOR.
- 35 10" SQ. PTD. 3/4" COLUMN OVER MD. CABINET, SEE DETAIL 2/A-6.2
- 36 10" SQ. PTD. COLUMN, SEE DETAIL 3/A-6.2
- 37 PLASTER, SEE DETAIL 4/A-6.2
- 38 42" HIGH 2x6 paneled wall w/ ptd. 2x6 wood cap.
- 39 BULKHEAD ABOVE, SEE PLANS FOR ELEVATION. SEE DETAIL 6/A-6.2
- 40 SEE SHEET A-4.3 FOR APPLIANCE AND PLUMBING SCHEDULE.
- 41 PROVIDE EXTERIOR DRAIN, SLOPE CONC. SLAB TO DRAIN.
- 42 PROVIDE 16" X 16" SCREENED VENT.
- 43 PROVIDE 3/4" P.T. ACCESS PANEL.
- 44 PROVIDE 4" GRAVEL W/ 6 MIL. U.S. @ CRAWL SPACE LOCATION.
- 45 STONE VENEER, ATTACHED TO BUILDING PER MANUF. SPECS. SEE MAT. SCHEDULE, A-2.1, TYP.
- 46 NEW FOUNDATION WALL, SEE STRUCTURAL DRAWING'S.
- 47 COLUMN, SEE STRUCTURAL DRAWING'S.
- 48 WOOD HANDRAIL / PICKETS, COORDINATE W/ OWNER TYPE.
- 49 PROVIDE 5 WHITE MELAMINE SLEEVES, SEE PLAN FOR SIZE.
- 50 STONE VENEER WATER TABLE, SEE CLEV. FOR MATERIAL LIST.
- 51 PROVIDE TYPE X 5/8" GYP. BRD. ALL WALLS AND CEILING THIS AREA.
- 52 PROVIDE METAL HANDRAIL, GUARD RAIL, & PICKETS, CONTRATOR TO PROVIDE CUT SHEET TO OWNER FOR APPROVAL.
- 53 WOOD STAIR / TREAD / RESER.
- 54 BRICK, ROWLOCK SILL.
- 55 PTD. WOOD COLUMN ON BRICK / CMU PER W/ BRACKET ABOVE, SEE DETAIL 7.
- 56 SHADOW BOX, SEE DETAIL 6/A-6.2
- 57 CROWN MOULDING ABOVE, SEE DETAIL 7/A-6.2
- 58 PROVIDE OVERFLOW FLOOR DRAIN.
- 59 SEE SHEET A-4.1 FOR WALL TYPES.
- 60 WINDOW MEETS NATIONAL EGRESS REQUIREMENTS.
- 61 TEMPERED GLAZING REQUIRED.
- 62 HOLD 6"-8" CLEARANCE

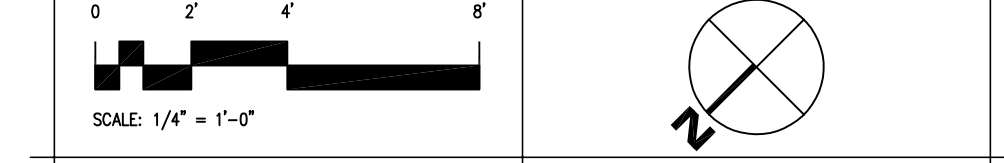
GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - U.N.O.
2. CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT.
3. CONTRACTOR SHALL PATCH AND PRE-PAIR ALL SURFACES AS REQUIRED FOR NEW WORK.
4. DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL PLACED ON HINGED SIDE. U.N.O.
5. PROVIDED SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH DESIGNER AND OWNER.
6. ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCHLUTER EDGE TRIM WHEN ABUTTING TILE WITH DISSIMILAR MATERIALS.
7. ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING. U.N.O.
8. ALL GWB PARTIAL HT. WALLS SHALL HAVE PITTCOM KNEE BRACE KIT SKB-46 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL.
9. ALL CLOSETS TO HAVE 1-1/2" ALUMINUM ROD AT 5'-0" A.F.F. WITH 12" WIDE WHITE MELAMINE SHELF WITH FINISHED EDGE. U.N.O.
10. SLOPE GRADE 1/2" PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.
11. PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK / JOINT ON EACH SIDE.
12. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHAL / PLAN REVIEWER.
13. ALL EXTERIOR WALL DIMENSIONS ARE TO SHEATHING.

LEGEND

- ITEMS ABOVE, OR EQUIPMENT
- EXISTING WALL / CONSTRUCTION TO REMAIN
- NEW WALL / CONSTRUCTION
- BATT INSULATION

GRAPHIC SCALE SITE DIRECTION



MICHAEL PLACE
 7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA, 22046
 COUNTY OF FAIRFAX, VIRGINIA

PLANNING DESIGN ARCHITECTURE
 9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

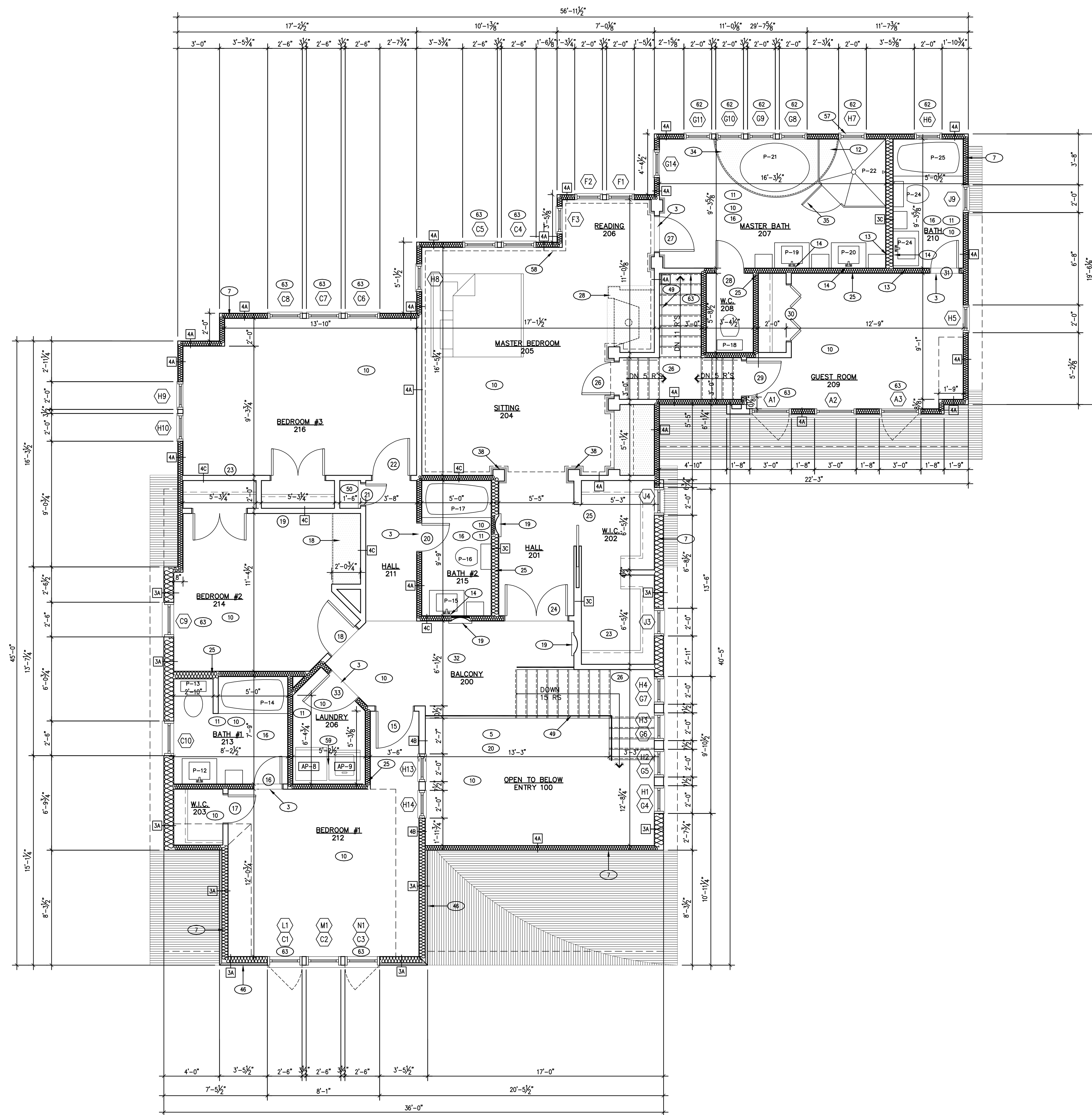
FIRST FLOOR PLAN

| ISSUE DATE | DESCRIPTION |
|------------|------------------------|
| 10.11.2004 | 50% CLIENT SUBMISSION |
| 11.03.2004 | 75% CLIENT SUBMISSION |
| 01.17.2005 | 100% CLIENT SUBMISSION |
| 07.2005 | PERMIT SUBMISSION |

| REVISION DATE | MARK | DESCRIPTION |
|---------------|------|-------------|
| | | |
| | | |

04 - 08 - 025

A - 1.2



1 SECOND FLOOR PLAN
A-1.3 SCALE: 1/4" = 1'-0"

PLAN KEYNOTES

- 1 KITCHEN COUNTER, CABINETS, AND ISLAND LAYOUT IS CONCEPTUAL. FINAL LAYOUT TO BE DETERMINED BY KITCHEN DESIGNER AND APPROVED BY OWNER. SEE ALLOWANCE ON COVER SHEET.
- 2 REAR YARD AS REQ'D. TO ACHIEVE 4" MIN. FALL IN 10' - REUSE AS MUCH SPOIL DIRT FROM EXCAVATION AS POSSIBLE ON SITE.
- 3 FLUSH FLOOR TRANSITION. PROVIDE METAL EDGE STRIP (SCHLUTER OR EQUAL) BETWEEN CABINET & CERAMIC TILE FLOORS. CENTER TRANSITION UNDER CLOSED DOOR, WHERE OCCURS. SEE DETAIL 3/A-6.1
- 4 EXISTING CONSTRUCTION TO REMAIN.
- 5 SEE SHEET A-4.1 FOR WALL TYPE SCHEDULES.
- 6 42" HIGH WALL W/PTD. 2x6 WOOD TOP CAP, SEE DETAIL 13/A-6.1
- 7 R-13 KRAFT FACED BATT INSULATION @ EXTERIOR WALLS, TYP.
- 8 BRICK WATERTABLE.
- 9 NEW CONC. SLAB, SEE FOUNDATION PLAN.
- 10 PROVIDE 3/4" PTD. GYP. BD. WALLS.
- 11 PROVIDE 3/4" CONC. BD. @ MET WALL LOCATIONS.
- 12 TILED SHOWER W/ MEMBRANE LINER, SLOPED TILE SEAT SEE DETAIL 1/A-6.1. TILE & GLASS SHOWER DOOR TO BE SUPPLIED AND INSTALLED BY OWNER.
- 13 RECESSED MEDICINE CABINET.
- 14 DECORATIVE MIRROR, PROVIDED BY OWNER. CONTRACTOR TO COORDINATE CENTER LINE OF MIRROR W/ CENTER OF SINK.
- 15 RETAINING WALL, THIS LOCATION, SEE DETAIL.
- 16 PROVIDE BLOCKING AS REQUIRED FOR TOWEL BAR. COORDINATE WITH OWNER LOCATION.
- 17 CONFIRM LOCATION OF NEW HVAC UNIT WITH OWNER.
- 18 36" HIGH WORK TOP. COORDINATE WITH OWNER FINISHED MATERIALS, AND LOCATION OF 3" GROMMET, SEE DETAIL 10/A-6.1
- 19 NICHE. SEE DETAIL 12/A-10 MANUF. ORACDECOR STYLE FRAME - N503 / RECESSED NICHE N.501 FINISH: PO-1
- 20 SEE SHEETS 4.1 THRU 4.3 FOR SCHEDULES.
- 21 BENCH SEAT, SEE DETAIL 9/A-6.1
- 22 VANITY AND COUNTER TOP.
- 23 PROVIDE ATTIC ACCESS PANEL (3/4" MDG. PLYMD. PTD. WITH CASING @ PERIMETER).
- 24 METAL HAND RAIL @ 36" ABOVE NOSING, ANCHORED TO RETAINING WALL, PER MANUFACTURER SPECS. V.I.F. STONE VENEER CONDITIONS W/ STONE VENEER MANUFACTURER SPECS. SEE DETAIL 5/A-6.2
- 25 SOUND ATTENUATING BATT INSULATION.
- 26 STAR NOTE: MAX RISE 8", MIN. TRED 9".
- 27 BRACKET ABOVE, SEE ELEVATION AND DETAIL 2/A-6.1 TYP.
- 28 PROVIDE ZERO CLEARANCE FREE PLACE MANUF. HEAT-N-GLO STYLE 1 FINISH: BLACK
- 29 PROVIDE GLASS DOORS, SUBMIT CUT SHEET TO OWNER FOR APPROVAL.
- 30 16" X 16" CMU PIER, ON LONG FTG, SEE FOUNDATION PLAN, TYP.
- 31 TREX, OR EQUAL, DECKING ON P.T. FRAMING.
- 32 DIRECTION OF WOOD FLOORING.
- 33 PATIO / LANDSCAPING NOT IN CONTACT.
- 34 TILED TUB SURROUND, SEE DETAIL 1/A-6.2
- 35 FRAMELESS GLASS SHOWER DOOR.
- 36 10" SQ. PTD. 3/4" COLUMN OVER MD. CABINET, SEE DETAIL 2/A-6.2
- 37 10" SQ. PTD. COLUMN, SEE DETAIL 3/A-6.2
- 38 PILASTER, SEE DETAIL 4/A-6.2
- 39 42" HIGH 2x6 paneled wall w/ ptd. 2x6 wood cap.
- 40 BULKHEAD ABOVE, SEE PLANS FOR ELEVATION. SEE DETAIL 6/A-6.2
- 41 SEE SHEET A-4.3 FOR APPLIANCE AND PLUMBING SCHEDULE.
- 42 PROVIDE EXTERIOR DRAIN, SLOPE CONC. SLAB TO DRAIN.
- 43 PROVIDE 16" X 16" SCREENED VENT.
- 44 PROVIDE 3/4" P.T. ACCESS PANEL.
- 45 PROVIDE 4" GRAVEL W/ 6 MIL. U.S. @ CRAWL SPACE LOCATION.
- 46 STONE VENEER, ATTACHED TO BUILDING PER MANUF. SPECS. SEE MAT. SCHEDULE, A-2.1, TYP.
- 47 NEW FOUNDATION WALL, SEE STRUCTURAL DRAWINGS.
- 48 COLUMN, SEE STRUCTURAL DRAWINGS.
- 49 WOOD HANDRAIL / PICKETS, COORDINATE W/ OWNER TYPE.
- 50 PROVIDE 5 WHITE MELAMINE SLEEVES, SEE PLAN FOR SIZE.
- 51 STONE VENEER WATER TABLE, SEE CLEV. FOR MATERIAL LIST.
- 52 PROVIDE TYPE X GYP. BRD. ALL WALLS AND CEILING THIS AREA.
- 53 PROVIDE METAL HANDRAIL, GUARD RAIL & PICKETS, CONTRATOR TO PROVIDE CUT SHEET TO OWNER FOR APPROVAL.
- 54 WOOD STAIR / TREAD / RISER.
- 55 BRICK, ROWLOCK SILL.
- 56 PTD. WOOD COLUMN ON BRICK / CMU PER W/ BRACKET ABOVE, SEE DETAIL 7.
- 57 SHADOW BOX, SEE DETAIL 6/A-6.2
- 58 CROWN MOULDING ABOVE, SEE DETAIL 7/A-6.2
- 59 PROVIDE OVERFLOW FLOOR DRAIN.
- 60 SEE SHEET A-4.1 FOR WALL TYPES.
- 61 WINDOW MEETS NATIONAL EGRESS REQUIREMENTS.
- 62 TEMPERED GLAZING REQUIRED.
- 63 HOLD 6"-8" CLEARANCE

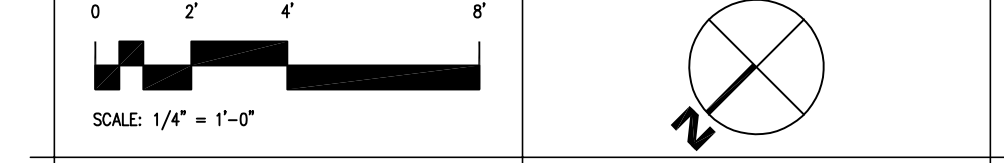
GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - U.N.O.
2. CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT.
3. CONTRACTOR SHALL PATCH AND PRE-PAIR ALL SURFACES AS REQUIRED FOR NEW WORK.
4. DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL PLACED ON HINGED SIDE. U.N.O.
5. PROVIDED SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH DESIGNER AND OWNER.
6. ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCHLUTER EDGE TRIM WHEN ABUTTING TILE WITH DISSIMILAR MATERIALS.
7. ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING. U.N.O.
8. ALL GWB PARTIAL HT. WALLS SHALL HAVE PITTCOM KNEE BRACE KIT SKB-46 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL.
9. ALL CLOSETS TO HAVE 1-1/2" ALUMINUM ROD AT 5'-0" A.F.F. WITH 12" WIDE WHITE MELAMINE SHELF WITH FINISHED EDGE. U.N.O.
10. SLOPE GRADE 1/2" PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.
11. PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK / JOINT ON EACH SIDE.
12. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHAL / PLAN REVIEWER.
13. ALL EXTERIOR WALL DIMENSIONS ARE TO SHEATHING.

LEGEND

- ITEMS ABOVE, OR EQUIPMENT.
- EXISTING WALL / CONSTRUCTION TO REMAIN
- NEW WALL / CONSTRUCTION
- BATT INSULATION

GRAPHIC SCALE SITE DIRECTION



MICHAEL PLACE
 7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA 22046
 COUNTY OF FAIRFAX, VIRGINIA

PLANNING DESIGN ARCHITECTURE
 9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

SECOND FLOOR PLAN

| ISSUE DATE | DESCRIPTION |
|------------|------------------------|
| 10.11.2004 | 100% CLIENT SUBMISSION |
| 11.03.2004 | 100% CLIENT SUBMISSION |
| 01.17.2005 | 100% CLIENT SUBMISSION |
| 07. 2005 | PERMIT SUBMISSION |

| REVISION DATE | DESCRIPTION |
|---------------|-------------|
| | |
| | |

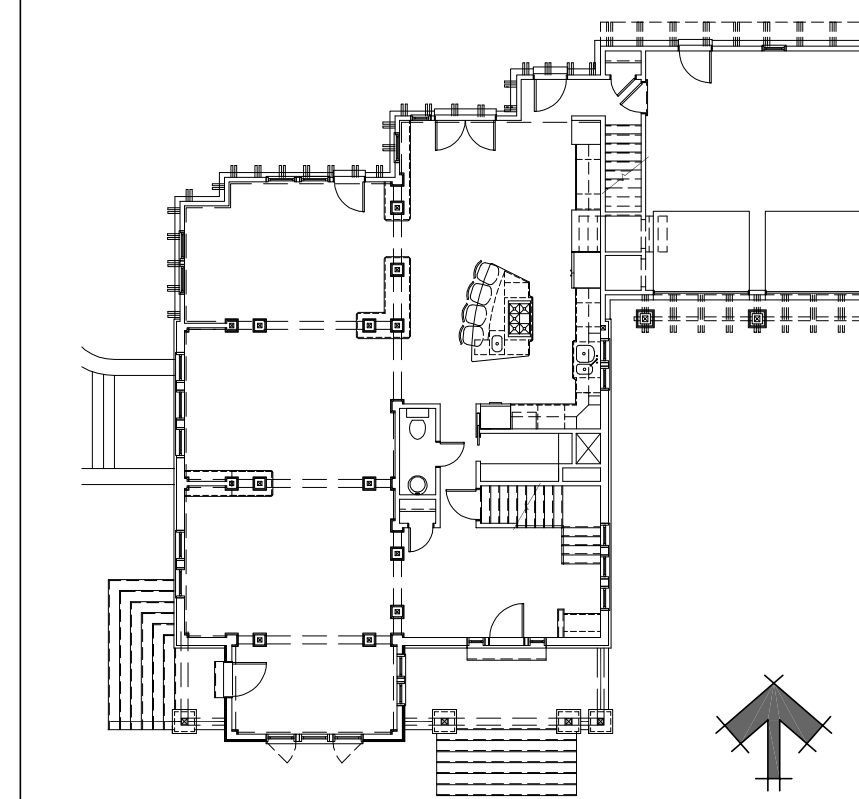
04 - 08 - 025

A - 1.3

PLAN KEYNOTES

- 1 RIDGE VENT
MANUF: MID AMERICA
STYLE: RIDGEWATER PLUS
FINISH: SHINGLES
- 2 TYP. ROOF CONSTRUCTION
SHINGLES (SEE EXT. MATERIALS), OVER (2) LAYERS #30 BLD. PAPER OVER 3/4" PLYWOOD SHEATHING, OVER STRUCTURAL FRAMING - SEE FRAMING PLANS. FOR ROOF SLOPES 3/4 TO 1/2, PROVIDE DOUBLE UNDERLAYMENT & APPLICATION PER I.R.C., SEE R505.2.2
- 3 METAL HAND RAIL, SEE DETAIL 5/A-6.2
- 4 PAINTED PVC TRIM
MANUF: AZEK BY VYCOM CORP.
STYLE:
A) 5/4 x4
B) 5/4 x6
C) 5/4 x8
D) 5/4 x10
E) 5/4 x12
F) 1 x4
G) 1 x6
H) 1 x8
I) 1 x10
J) 1 x12
K) 1 1/8 x 1 5/8 DRP. EDGE
L) 1 1/8 x 1 5/8 RAKE BOARD
M) 1 1/8 x 1 5/8 SHINGLE MOULD
- 5 METAL HANDRAIL, GUARDRAIL, & PICKETS
- 6 GUTTERS & DOWN SPOUTS BEYOND, TERMINATE IN PERFORATED PIPE, EXTENDED BELOW GRADE, DRAIN TO DAYLIGHT. (NOT SHOWN) SEE DETAIL 6/A-6.1 FOR COVE DETAILS.
SLOPE 3/4" PVC SILL, EXTEND 1" BEYOND TRIM, AS INDICATED TYP.
- 7 CONCEALED ALUMINUM FLASHING
- 8 NEW CONTINUOUS CONC. FOOTING, STEP FOOTING, AS REP.
- 9 PAINTED WOOD / P.V.C. COLUMN / BRACKET SEE 17/A-6.1 & 2/A-6.1
- 10 BOXED PILASTER / SEE DETAIL 18/A-6.1
- 11 NOT USED
- 12 STONE VENEER WATER TABLE SILL
MANUF: OMEGA CORNING
STYLE: CHAMPAGNE
ID: SUIT-1370
- 13 PTD. 1x PVC TRIM
- 14 PTD. 3/4" CONC. BOARD
- 15 PICKET / GUARDRAIL Ø MAX. 4" O.C. PER I.R.C. R318.2, TYP.
- 16 24" X 24" FLAGSTONE PIER CORP. CUT TO 18" X 18"
MANUF: OMEGA CORNING
STYLE: CHAMPAGNE
ID: AS121
NOTE: CUT CUP TO SIZE INDICATED, CONTRACTOR TO SUPPLY ALTERATION MANUF. CUPS, IF CUP CAN NOT BE CUT CONTACT MANUF. FOR SPECS. TYP.
- 17 BRACKET, SEE DETAIL 2/A-6.1
- 18 PTD. PVC LOUVER, SEE DETAIL 16/A-6.1
- 19 FLOWER BOX, SEE DETAIL 10/A-6.2
- 20 SEE SIDING DETAIL, 8/A-6.1
- 21 BRICK PIER
- 22 SLOPED ROWLOCK BRICK SILL, MITER @ CORNERS
- 23 BOXED COLUMN SEE DETAIL, 17/A-6.1
- 24 PTD. WOOD STAIRS, W. TREX TYPE TREADS, P.T. TOE KICK
- 25 P.V.C. LATTICE
- 26 PTD. P.V.C. 1 1/2" X 2" BROCK MOLD
MANUF: WM. TINDER, INC.
- 27 VERIFY W/ STONE VENEER MANUF. SPECS. FOR MIN. CLEARANCE.
- 28 PTD. 3/4" P.V.C. TRIM
- 29 2" X 2" PTD. P.V.C. TRIM
- 30 CONC. TENNAGE STEPS N.L.C.

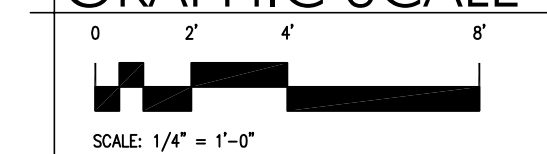
ELEVATION KEY-PLAN



EXTERIOR FINISH SCHEDULE

| | |
|---|--|
| B-1 BRICK VENEER MANUF: MATCH EXISTING STYLE: MATCH SHAPES AND TEXTURE OF EXIS. COLOR: MATCH EXISTING | PL-4 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. |
| CS-1 CULTURED STONE MANUF: OMEGA CORNING SERIES: ARCHITECTURAL SERIES STYLE: AUTUMN PRO-FIT LEDGESTONE PRODUCT CODE: PF-8015 COLOR: AUTUMN MANUF. REF: LUCK STONE CORP. 703.435.1400 MANUF. WEB SITE: WWW.CULTUREDSTONE.COM | PL-5 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. |
| G-1 GUTTER AND DOWNSPOUT MANUF: ANY STYLE: SEAMLESS - OGGE: 5W x 3-3/4" H COLOR: PRE-FINISHED WHITE | S-1 VINYL SIDING MANUF: ALOCA / MASTIC - OR EQUAL STYLE: SILHOUETTE 9 DOUBLE EXPOSURE: CLAPBOARD DBL. 5" EXPOSURE CODE: HP50 FINISH: CEDAR WOOD GRAY COLOR: WICKER MANUF. REF: TED LANSING CORP. 703.787.7400 MANUF. WEB SITE: WWW.MASTIC.COM |
| FS-1 FIBERGLASS SHINGLES MANUF: CTAF STYLE: TIMBERLINE - 30 YR. COLOR: T.B.D. NOTE: PROVIDE 30" GRACE ICE AND WATER SHIELD AT EAVES AND VALLEYS. APPLY DBL "AQUA GUARD" POLYPROPYLENE UNDERLAYMENT @ ROOF SLOPES LESS THAN 4/12. | S-2 FIBER-CEMENT SIDING MANUF: JAMES HARDIE BUILDING PRODUCTS STYLE: HARD SHINGLE SIDING - STAGGERED EDGE NOTCHED PANEL EXPOSURE: 6" FINISH: WOOD GRAY COLOR: T.B.D. MANUF. REF: HOME DEPOT - 703.534.9580 MANUF. WEB SITE: WWW.JAMESHARDIE.COM |
| PL-3 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. | |

GRAPHIC SCALE



MICHAEL PLACE
7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA, 22046
COUNTY OF FAIRFAX, VIRGINIA

PLANNING DESIGN STUDIOS
ARCHITECTURE
9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

FRONT ELEVATION

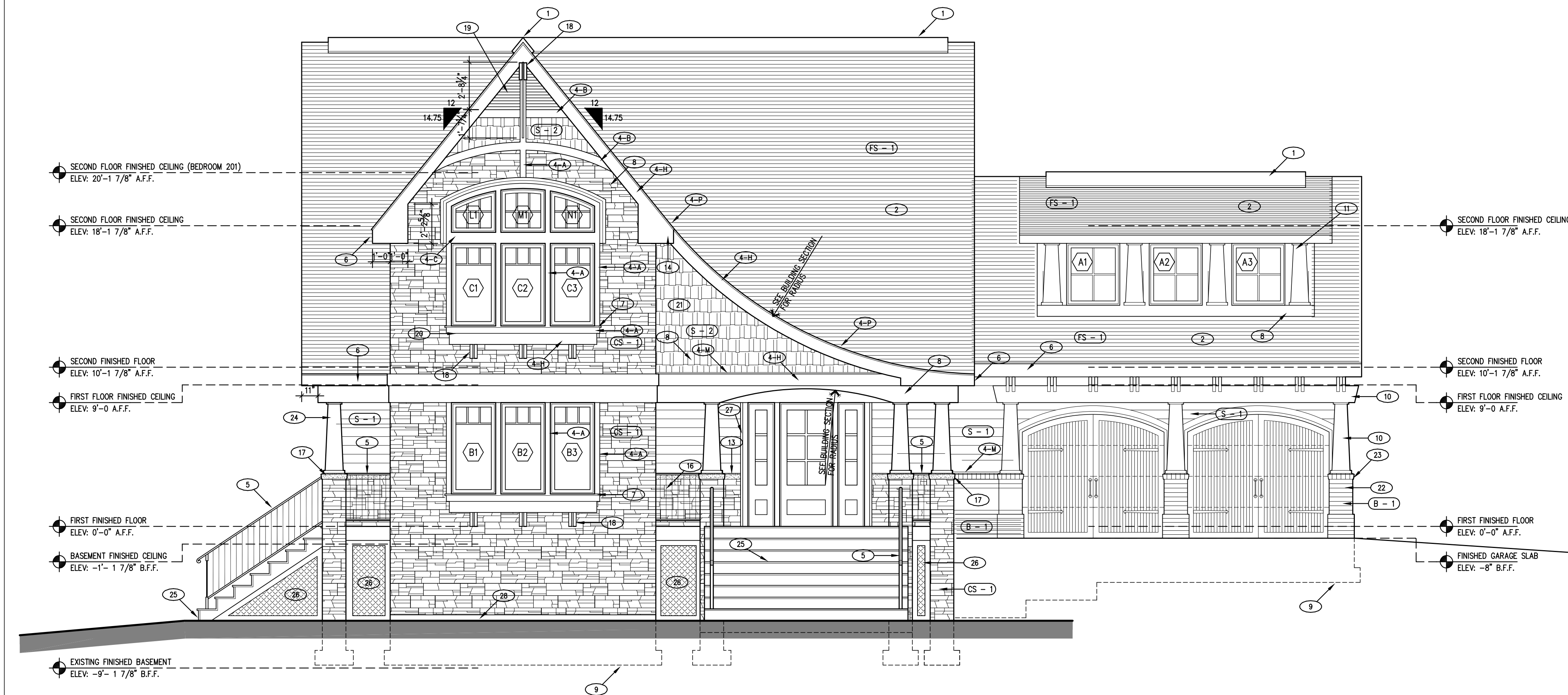
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| ISSUE DATE | DESCRIPTION |
|------------|------------------------|
| 01.11.2004 | 50% CLIENT SUBMISSION |
| 01.03.2004 | 100% CLIENT SUBMISSION |
| 01.17.2005 | 100% CLIENT SUBMISSION |
| 01.2005 | PERMIT SUBMISSION |

| REVISION DATE | DESCRIPTION |
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04 - 08 - 025

A - 2.1



1 FRONT ELEVATION
A - 2.1 SCALE: 1/4" = 1'-0"



MICHAEL PLACE
7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA, 22046
COUNTY OF FAIRFAX, VIRGINIA

PLANNING & DESIGN :: P L A N N I N G & D E S I G N S T U D I O ::
ARCHITECTURE
9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

RIGHT SIDE ELEVATION

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| ISSUE DATE | DESCRIPTION |
|------------|------------------------|
| 01.11.2004 | 100% CLIENT SUBMISSION |
| 01.03.2004 | 100% CLIENT SUBMISSION |
| 01.17.2005 | 100% CLIENT SUBMISSION |
| 01.2005 | PERMIT SUBMISSION |

| REVISION DATE | DESCRIPTION |
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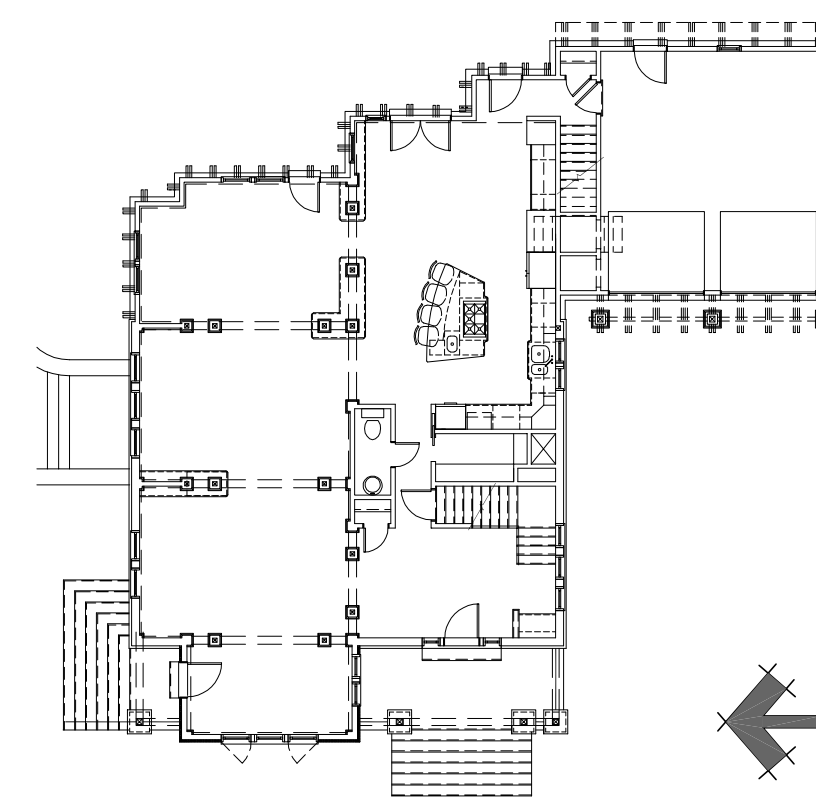
04 - 08 - 025

A - 2.2

PLAN KEYNOTES

- 1 RIDGE VENT.
MANUF: MID AMERICA
STYLE: RIDGWATER PLUS
FINISH: SHINGLES
- 2 TYP. ROOF CONSTRUCTION
SHINGLES (SEE EXT. MATERIALS), OVER (2) LAYERS #30 B.L.G. PAPER OVER 3/4" PLYWOOD SHEATHING, OVER STRUCTURAL TRUSSING - SEE FRAMING PLANS. FOR ROOF SLOPES 3/4" TO 1/2" PROVIDE DOUBLE UNDERLAYMENT & APPLICATION PER I.R.C., SEE R505.2.2
- 3 METAL HAND RAIL, SEE DETAIL 5/A-6.2
- 4 PAINTED PVC TRIM
MANUF: AZEK BY VYCOM CORP.
STYLE:
A) 5/4 x4
B) 5/4 x6
C) 5/4 x8
D) 5/4 x10
E) 5/4 x12
F) 1 x4
G) 1 x6
H) 1 x8
I) 1 x10
J) 1 x12
K) 1 1/2 x 1 1/2
L) 1 1/2 x 1 1/2 DRIP EDGE
M) 1 1/2 x 1 1/2 RAKE BOARD
N) 1 1/2 x 1 1/2 SHINGLE MOULD
- 5 METAL HANDRAIL, GUARDRAIL, & PICKETS
- 6 GUTTERS & DOWN SPOUTS BEYOND. TERMINATE IN PERFORATED PIPE, EXTENDED BELOW GRADE, DRAIN TO DAYLIGHT. (NOT SHOWN) SEE DETAIL 6/A-6.1 & 2/A-6.1
SLOPE 3/4" PVC SILL, EXTEND 1" BEYOND TRIM, AS INDICATED TYP.
- 7 CONCEALED ALUMINUM FLASHING
- 8 NEW CONTINUOUS CONC. FOOTING, STEP FOOTING, AS REP.
- 9 PAINTED WOOD / P.V.C. COLUMN / BRACKET SEE 17/A-6.1 & 2/A-6.1
- 10 BOXED PILASTER / SEE DETAIL 18/A-6.1
- 11 NOT USED
- 12 STONE VENEER WATER TABLE SILL
MANUF: OMEGA CORNING
STYLE: CHAMPAGNE
ID: SUIT-1370
- 13 PTD. 1x PVC TRIM
- 14 PTD. 3/4" CONC. BOARD
- 15 PICKET / GUARDRAIL @ MAX. 4" O.C. PER I.R.C. R316.2, TYP.
- 16 24"x 24" FLASSTONE PIER CORP. CUT TO 18"x 18"
MANUF: OMEGA CORNING
STYLE: CHAMPAGNE
ID: AS121
NOTE: CUT CLIP TO SIZE INDICATED, CONTRACTOR TO SUPPLY ALTERATION MANUF. CLIPS. IF CLIP CAN NOT BE CUT CONTACT MANUF. FOR SPECS. TYP.
- 17 BRACKET, SEE DETAIL 2/A-6.1
- 18 PTD. PVC LOUVER, SEE DETAIL 16/A-6.1
- 19 FLOWER BOX, SEE DETAIL 10/A-6.2
- 20 SEE SILING DETAIL, 8/A-6.1
- 21 BRICK PIER
- 22 SLOPED ROWLOCK BRICK SILL, MITER @ CORNERS
- 23 BOXED COLUMN SEE DETAIL, 17/A-6.1
- 24 PTD. WOOD STAIRS, W. TREX TYPE TREADS, P.T. TOE KICK
- 25 P.V.C. LATTICE
- 26 PTD. P.V.C. 1 1/2" X 2" BRICK MOLD
MANUF: WM. TINDER, INC.
- 27 VERIFY W/ STONE VENEER MANUF. SPECS. FOR MIN. CLEARANCE
- 28 PTD. 3/4" P.V.C. TRIM
- 29 2"x 2" PTD. P.V.C. TRIM
- 30 CONC. TERRACE STEPS N.I.C.

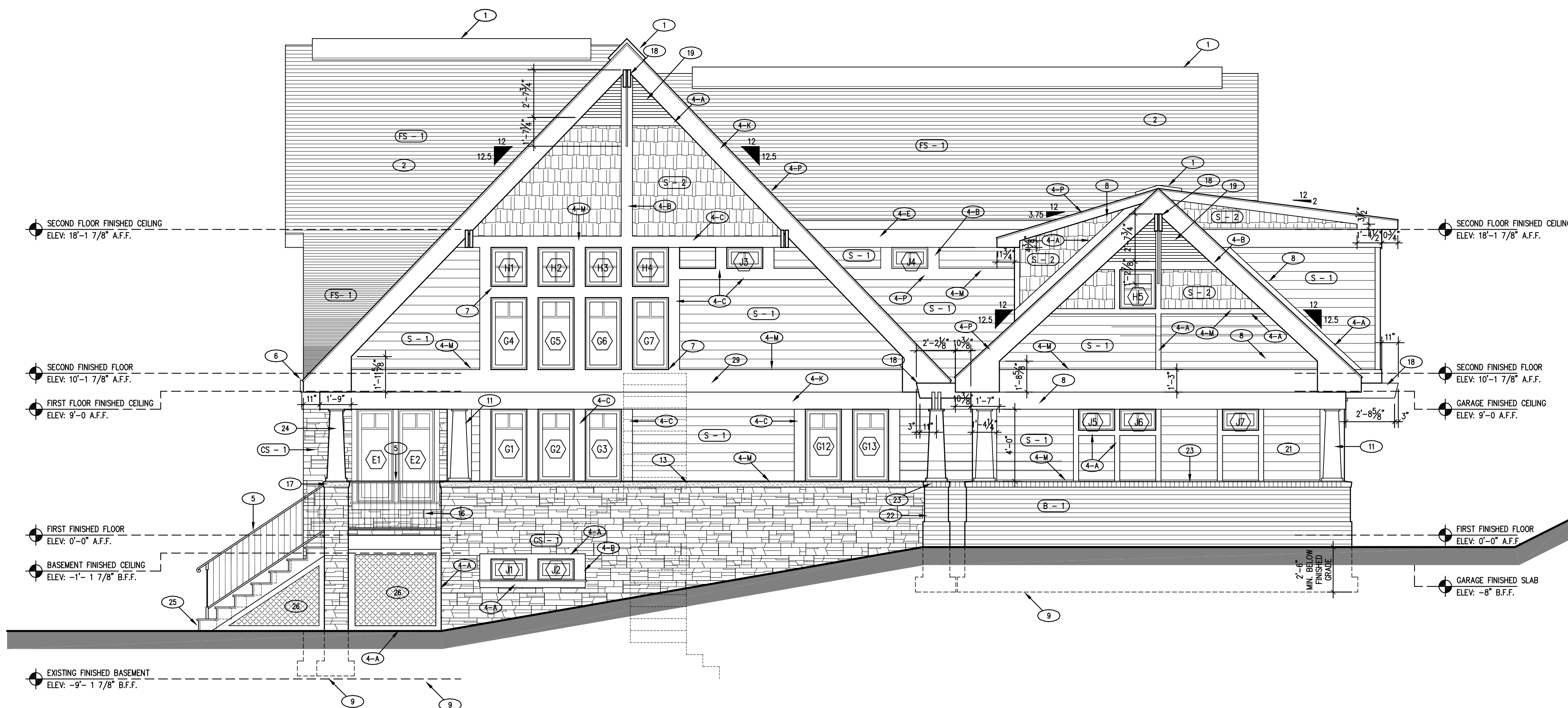
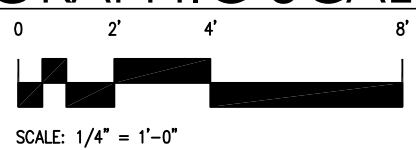
ELEVATION KEY-PLAN



EXTERIOR FINISH SCHEDULE

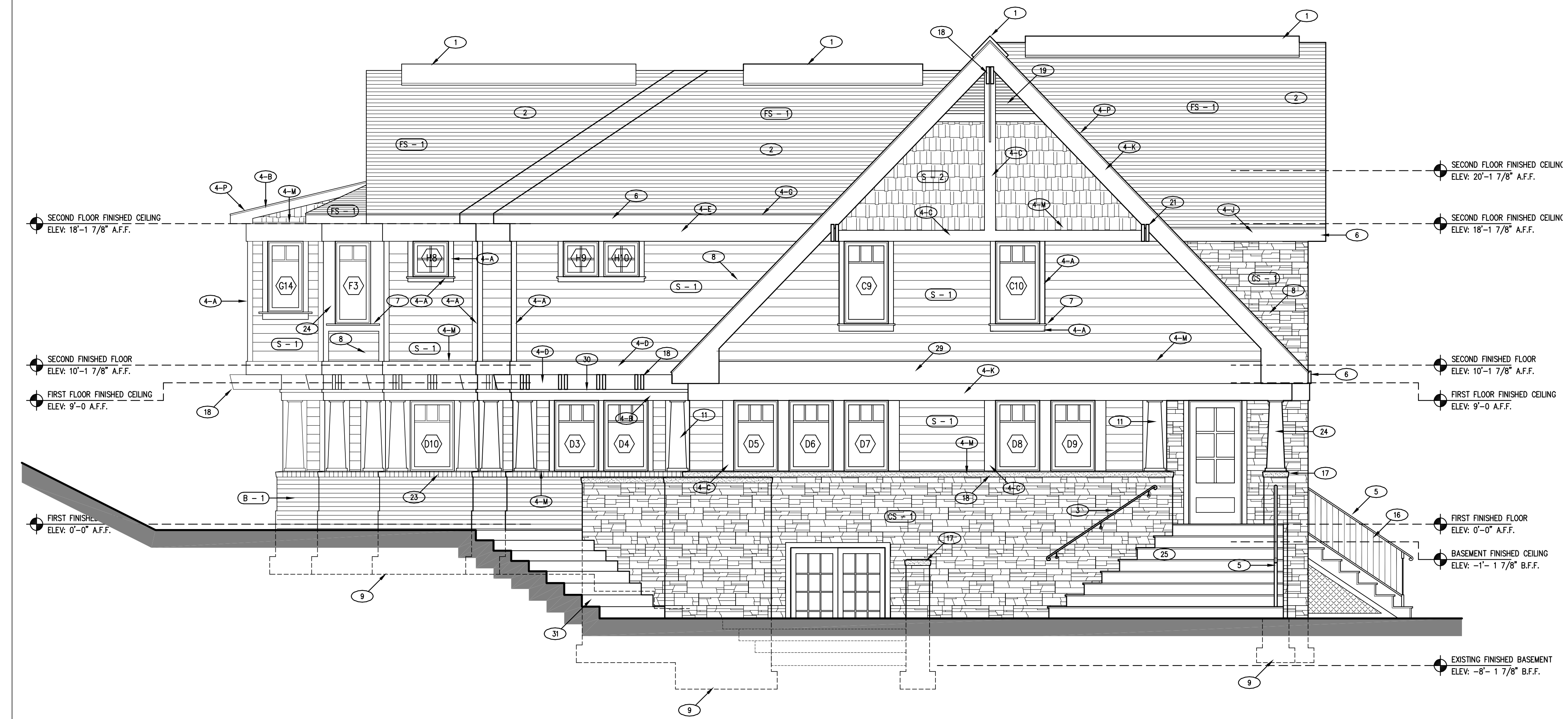
| | |
|---|--|
| B-1 BRICK VENEER MANUF: MATCH EXISTING STYLE: MATCH SHAPES AND TEXTURE OF EXIS COLOR: MATCH EXISTING | PL-4 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS T.B.D. |
| CS-1 CULTURED STONE MANUF: OMEGA CORNING SERIES: ARCHITECTURAL SERIES STYLE: AUTUMN PRO-FIT LEDGESTONE PRODUCT CODE: PF-8015 COLOR: AUTUMN MANUF. REF: LUCK STONE CORP. 703.435.1400 MANUF. WEB SITE: WWW.CULTUREDSTONE.COM | PL-5 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS T.B.D. |
| G-1 GUTTER AND DOWNSPOUT MANUF: ANY STYLE: SEAMLESS - ODGE: 5W x 3-3/4" COLOR: PRE-FINISHED WHITE | S-1 VINYL SIDING MANUF: ALOCA / MASTIC - OR EQUAL STYLE: SILHOUETTE 9 DOUBLE EXPOSURE: CLAPBOARD DBL. 5" EXPOSURE CODE: HP50 FINISH: CEDAR WOOD GRAY COLOR: WICKER MANUF. REF: TED LANSING CORP. 703.787.7400 MANUF. WEB SITE: WWW.MASTIC.COM |
| FS-1 FIBERGLASS SHINGLES MANUF: CTAF STYLE: TIMBERLINE - 30 YR. COLOR: TBD NOTE: PROVIDE 30" GRACE ICE AND WATER SHIELD AT EAVES AND VALLEYS APPLY DBL "AQUA GUARD" POLYPROPYLENE UNDERLAYMENT @ ROOF SLOPES LESS THAN 4:12 | S-2 FIBER-CEMENT SIDING MANUF: JAMES HARDIE BUILDING PRODUCTS STYLE: HARD SHINGLE SIDING - STAGGERED EDGE NOTCHED PANEL EXPOSURE: 6" FINISH: WOOD GRAY COLOR: T.B.D. MANUF. REF: HOME DEPOT - 703.534.9580 MANUF. WEB SITE: WWW.JAMESHARDIE.COM |
| PL-3 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. | |

GRAPHIC SCALE



1 RIGHT SIDE ELEVATION

A-2.2 SCALE: 1/4" = 1'-0"

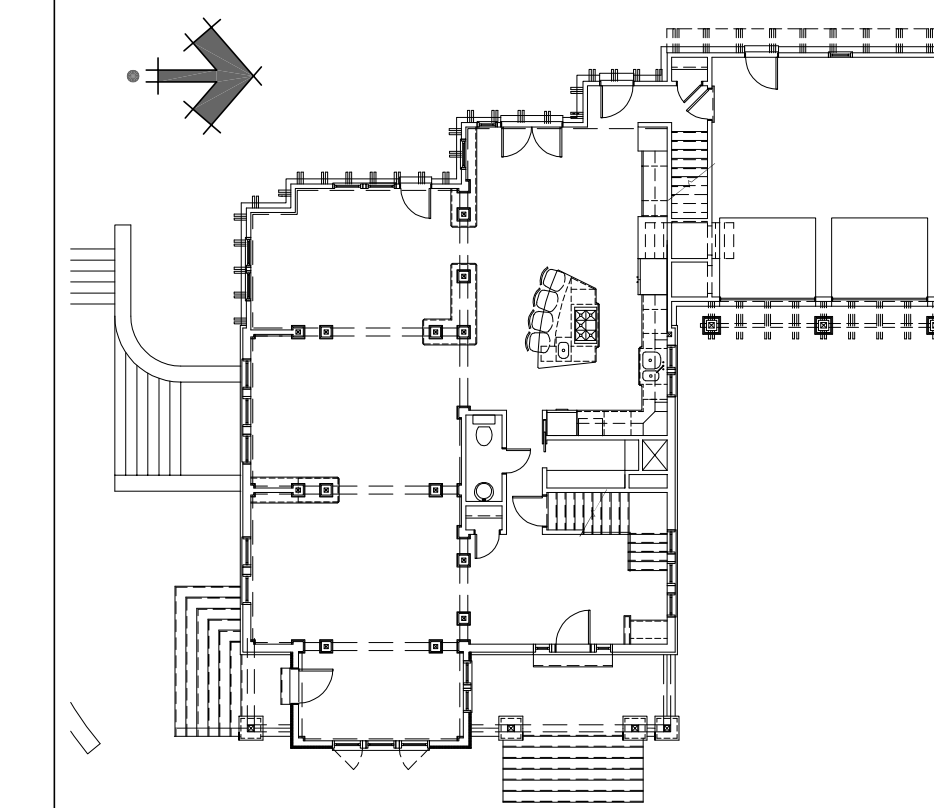


1 LEFT SIDE ELEVATION
A-2.3 SCALE: 1/4" = 1'-0"

PLAN KEYNOTES

- 1 RIDGE VENT.
MANUF: MID AMERICA
STYLE: RIDGEMASTER PLUS
FINISH: SHINGLES
- 2 THE ROOF CONSTRUCTION
SHINGLES (SEE EXIST. MATERIALS), OVER (2) LAYERS #30 BLG PAPER OVER 3/4" PLYWOOD SHEATHING OVER STRUCTURAL FRAMING - SEE FRAMING PLANS FOR ROOF SLOPES. 3/4" TO 1/2" PROVIDE DOUBLE UNDERLAYMENT & APPLICATION PER I.R.C. - SEE R905.2.2.
- 3 METAL HAND RAIL, SEE DETAIL 5/A-6.2
- 4 PAINTED PVC TRIM
MANUF: AZEK BY VYCOM CORP.
STYLE:
A) 5/4 x 4
B) 5/4 x 6
C) 5/4 x 8
D) 5/4 x 10
E) 5/4 x 12
F) 1 x 4
G) 1 x 6
H) 1 x 8
I) 1 x 10
J) 1 x 12
K) 1 1/2 x 1 1/2
L) 1 1/2 x 1 1/2 DRIP EDGE
M) 1 1/2 x 1 1/2 RACE BOARD
N) 1 1/2 x 1 1/2 SHINGLE MOULD
- 5 METAL HANDRAIL, GUARDRAIL, & PICKS
- 6 OUTTERS & DOWN SPOUTS BEYOND, TERMINATE IN PERFORATED PIPE, EXTENDED BELOW GRADE, DRAIN TO DRAINAGE (NOT SHOWN) SEE DETAIL 6/A-6.1 FOR COVE DETAILS.
- 7 SLOPE 3/4" PVC SILL, EXTEND 1" BEYOND TRIM, AS INDICATED TYP.
- 8 CONCEALED ALUMINUM FLASHING.
- 9 NEW CONTINUOUS CONC. FOOTING, STEP FOOTING, AS REP.
- 10 PAINTED WOOD / P.V.C. COLUMN / BRACKET SEE 17/A-6.1 & 2/A-6.1
- 11 BOXED PILASTER / SEE DETAIL 16/A-6.1
- 12 NOT USED
- 13 STONE VENEER WATER TABLE SILL
MANUF: OWENS CORNING
STYLE: CHAMPAGNE
ID: SUT-1370
- 14 PTD. 1x PVC TRIM
- 15 PTD. 3/4" CONC. BOARD.
- 16 PICKET / GUARDRAIL Ø MAX. 4" O.C. PER I.R.C. R316.2, TYP.
- 17 24"x 24" FLAGSTONE PER CORP. CUT TO 18"x 18"
MANUF: OWENS CORNING
STYLE: CHAMPAGNE
ID: AS1212
NOTE: CUT CUP TO SIZE INDICATED, CONTRACTOR TO SUPPLY ALTERNATION MANUF. CUPS, IF CUP CAN NOT BE CUT CONTACT MANUF. FOR SPECS. TYP.
- 18 BRACKET, SEE DETAIL 2/A-6.1
- 19 PTD. PVC LOUVER, SEE DETAIL 16/A-6.1
- 20 FLOWER BOX, SEE DETAIL 10/A-6.2
- 21 SEE SIDING DETAIL, 8/A-6.1
- 22 BRICK PIER.
- 23 SLOPED ROWLOCK BRICK SILL, MITER @ CORNERS.
- 24 BOXED COLUMN SEE DETAIL, 17/A-6.1
- 25 PTD. WOOD STAIRS, W. TREX TYPE TREADS, P.T. TOE KICK.
- 26 P.V.C. LATTICE.
- 27 PTD. P.V.C. 1 1/2" X 2" BRICK MOLD
MANUF: W.M. TINDER, INC.
- 28 VERIFY W/ STONE VENEER MANUF. SPECS. FOR MIN. CLEARANCE.
- 29 PTD. 3/4" P.V.C. TRIM.
- 30 2"x 2" PTD. P.V.C. TRIM.
- 31 CONC. TENNACE STEPS N.I.C.

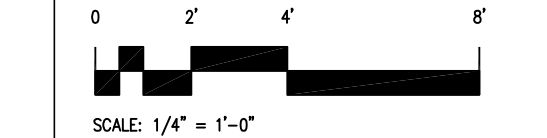
ELEVATION KEY-PLAN



EXTERIOR FINISH SCHEDULE

| | |
|---|---|
| B-1 BRICK VENEER MANUF: MATCH EXISTING STYLE: MATCH SHAPES AND TEXTURE OF EXIST. COLOR: MATCH EXISTING | PL-4 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. |
| CS-1 CULTURED STONE MANUF: OWENS CORNING SERIES: ARCHITECTURAL SERIES STYLE: AUTUMN PRO-FIT LEDGESTONE PRODUCT CODE: PF-8015 COLOR: AUTUMN MANUF. REF: LUCK STONE CORP. 703.435.1400 MANUF. WEB SITE: WWW.CULTUREDSTONE.COM | PL-5 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. |
| G-1 GUTTER AND DOWNSPOUT MANUF: ANY STYLE: SEAMLESS - ODGE: 5W x 3-3/4" H COLOR: PRE-FINISHED WHITE | S-1 VINYL SIDING MANUF: ALOCA / MASTIC - OR EQUAL STYLE: SILHOUETTE 9 DOUBLE EXPOSURE: CLAPBOARD DBL. 5 EXPOSURE CODE: HP50 FINISH: CEDAR WOOD GRAY COLOR: WICKER MANUF. REF: TED LANSING CORP. 703.787.7400 MANUF. WEB SITE: WWW.MASTIC.COM |
| FS-1 FIBERGLASS SHINGLES MANUF: CTAF STYLE: TIMBERLINE - 30 YR. COLOR: TBD NOTE: PROVIDE 30" GRACE ICE AND WATER SHIELD AT EAVES AND VALLEYS. APPLY DBL "AQUA GUARD" POLYPROPYLENE UNDERLAYMENT @ ROOF SLOPES LESS THAN 4:12. | S-2 FIBER-CEMENT SIDING MANUF: JAMES HARDIE BUILDING PRODUCTS STYLE: HARDISHINGLE SIDING - STAGGERED EDGE NOTCHED PANEL EXPOSURE: 6" FINISH: WOOD GRAY COLOR: T.B.D. MANUF. REF: HOME DEPOT - 703.534.9580 MANUF. WEB SITE: WWW.JAMESHARDIE.COM |
| PL-3 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. | |

GRAPHIC SCALE



MICHAEL PLACE
7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA 22046
COUNTY OF FAIRFAX, VIRGINIA

PLANNING & DESIGN
ARCHITECTURE
9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

LEFT SIDE ELEVATION

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| ISSUE DATE | DATE | DESCRIPTION |
|------------|------------|------------------------|
| | 10.11.2004 | 100% CLIENT SUBMISSION |
| | 11.03.2004 | 100% CLIENT SUBMISSION |
| | 01.17.2005 | 100% CLIENT SUBMISSION |
| | 07.2005 | PERMIT SUBMISSION |

| REVISION DATE | DATE | DESCRIPTION |
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04 - 08 - 025

A - 2.3

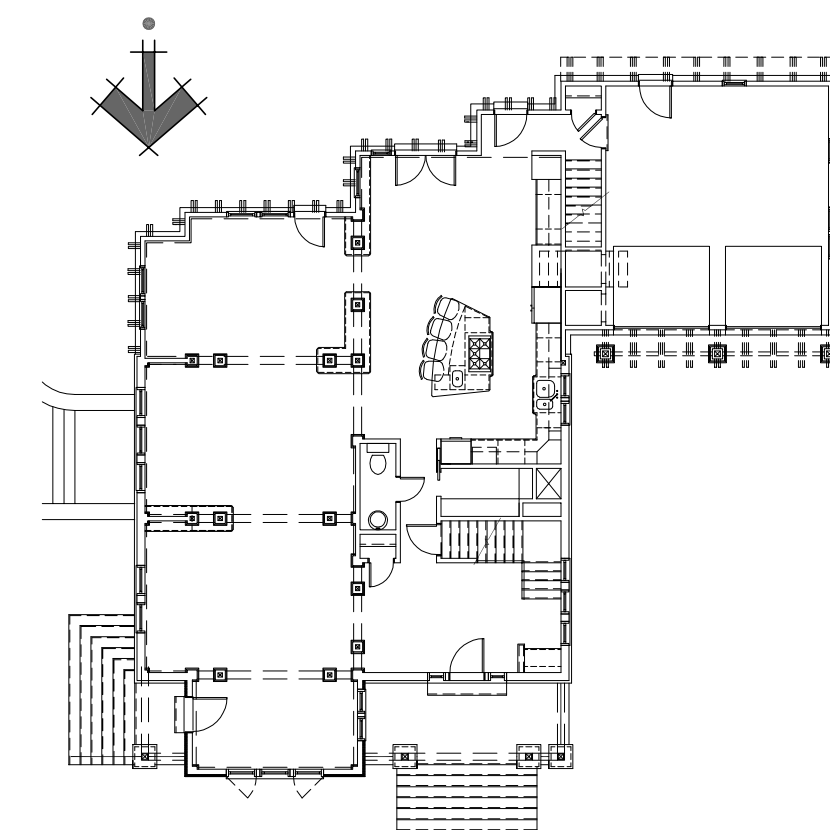


1 REAR ELEVATION
A-2.4 SCALE: 1/4" = 1'-0"

PLAN KEYNOTES

- 1 RIDGE VENT.
MANUF: MID AMERICA
STYLE: RIDGEWATER PLUS
FINISH: SHINGLES
- 2 TYP. ROOF CONSTRUCTION
SHINGLES (SEE EXT. MATERIALS), OVER (2) LAYERS #30 BLG PAPER OVER 3/4" PLYWOOD SHEATHING, OVER STRUCTURAL FRAMING - SEE FRAMING PLANS. FOR ROOF SLOPES 7/8 TO 1 1/2 PROVIDE DOUBLE UNDERLAYMENT & APPLICATION PER I.R.C., SEE R905.2.2
- 3 METAL HAND RAIL, SEE DETAIL 5/A-6.2
- 4 PAINTED PVC TRIM
MANUF: AZEK BY VYCOM CORP.
STYLE:
A) 5/4 x4
B) 5/4 x6
C) 5/4 x8
D) 5/4 x10
E) 5/4 x12
F) 1 x4
G) 1 x6
H) 1 x8
I) 1 x10
J) 1 x12
K) 1 1/2 x2
L) 1 1/2 x 1 1/2 DRIP EDGE
M) 1 1/2 x 1 1/2 RAKE BOARD
N) 1 1/2 x 1 1/2 RAKE BOARD
P) 1 1/2 x 1 1/2 SHINGLE MOULD
- 5 METAL HANDRAIL, GUARDRAIL, & PICKS.
- 6 GUTTERS & DOWN SPOUTS BEYOND. TERMINATE IN PERFORATED PIPE, EXTENDED BELOW GRADE, DRAIN TO DAYLIGHT. (NOT SHOWN) SEE DETAIL 6/A-6.1 FOR COVE DETAILS.
SLOPE 3/4" PVC SILL, EXTEND 1" BEYOND TRIM, AS INDICATED TYP.
- 7 CONCEALED ALUMINUM FLASHING.
- 8 NEW CONTINUOUS CONC. FOOTING, STEP FOOTING, AS REP.
- 9 PAINTED WOOD / P.V.C. COLUMN / BRACKET SEE 17/A-6.1 & 2/A-6.1
- 10 BOXED PILASTER / SEE DETAIL 18/A-6.1
- 11 NOT USED
- 12 STONE VENEER WATER TABLE SILL
MANUF: OMEGA CORNING
STYLE: CHAMPAGNE
ID: SU1-1370
- 13 PTD. 1x PVC TRIM
- 14 PTD. 3/4" CONC. BOARD.
- 15 PICKET / GUARDRAIL Ø MAX. 4" O.C. PER I.R.C. R316.2, TYP.
- 16 24" x 24" FLAGSTONE PIER CORP. CUT TO 18" x 18"
MANUF: OMEGA CORNING
STYLE: CHAMPAGNE
ID: AS1212
NOTE: CUT CUP TO SIZE INDICATED, CONTRACTOR TO SUPPLY ALTERATION
MANUF. CUPS. IF CUP CAN NOT BE CUT CONTACT MANUF. FOR SPECS. TYP.
- 17 BRACKET, SEE DETAIL 2/A-6.1
- 18 PTD. PVC LOUVER, SEE DETAIL 16/A-6.1
- 19 FLOWER BOX, SEE DETAIL 10/A-6.2
- 20 SEE SIDDING DETAIL, 8/A-6.1
- 21 BRICK PIER.
- 22 SLOPED ROWLOCK BRICK SILL, MITER @ CORNERS.
- 23 BOXED COLUMN SEE DETAIL, 17/A-6.1
- 24 PTD. WOOD STAIRS, W. TREX TYPE TREADS, P.T. TOE KICK.
- 25 P.V.C. LATTICE.
- 26 PTD. P.V.C. 1 1/2" x 2" BRICK MOLD
MANUF: W.M. TINDER, INC.
- 27 VERIFY W/ STONE VENEER MANUF. SPECS. FOR MIN. CLEARANCE.
- 28 PTD. 3/4" P.V.C. TRIM
- 29 2" x 2" PTD. P.V.C. TRIM
- 30 CONC. TENNACE STEPS N.I.C.

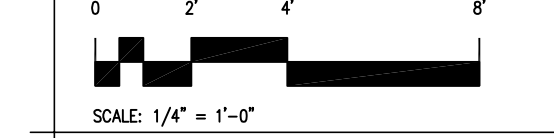
ELEVATION KEY-PLAN



EXTERIOR FINISH SCHEDULE

| | |
|---|---|
| B-1 BRICK VENEER MANUF: MATCH EXISTING STYLE: MATCH SHAPES AND TEXTURE OF EXISTING COLOR: MATCH EXISTING | PL-4 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS T.B.D. |
| CS-1 CULTURED STONE MANUF: OMEGA CORNING SERIES: ARCHITECTURAL SERIES STYLE: AUTUMN PRO-FIT LEDGESTONE PRODUCT CODE: PF-8015 COLOR: AUTUMN MANUF. REF: LUCK STONE CORP. 703.435.1400 MANUF. WEB SITE: WWW.CULTUREDSTONE.COM | PL-5 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS T.B.D. |
| G-1 GUTTER AND DOWNSPOUT MANUF: ANY STYLE: SEAMLESS - OGGEE - 5W x 3 1/2" H COLOR: PRE-FINISHED WHITE | S-1 VINYL SIDING MANUF: ALOCA / MASTIC - OR EQUAL STYLE: SILHOUETTE 9 DOUBLE EXPOSURE: CLAPBOARD DBL. 5 EXPOSURE CODE: HP50 FINISH: CEDAR WOOD GRAY COLOR: WICKER MANUF. REF: TED LANSING CORP. 703.787.7400 MANUF. WEB SITE: WWW.MASTIC.COM |
| FS-1 FIBERGLASS SHINGLES MANUF: CTAF STYLE: TIMBERLINE - 30 YR. COLOR: TBD NOTE: PROVIDE 30" GRACE ICE AND WATER SHIELD AT EAVES AND VALLEYS APPLY DBL "AQUA GUARD" POLYPROPYLENE UNDERLAYMENT @ ROOF SLOPES LESS THAN 4/12 | S-2 FIBER-CEMENT SIDING MANUF: JAMES HARDIE BUILDING PRODUCTS STYLE: HARD SHINGLE SIDING - STAGGERED EDGE NOTCHED PANEL EXPOSURE: 6" FINISH: WOOD GRAY COLOR: T.B.D. MANUF. REF: HOME DEPOT - 703.534.9580 MANUF. WEB SITE: WWW.JAMESHARDIE.COM |
| PL-3 PAINT MANUF: DURON OR EQUAL STYLE: LATEX EGGSHELL FINISH: 1 COAT PRIMER + 2 FINISH COATS COLOR: T.B.D. | |

GRAPHIC SCALE



MICHAEL PLACE
7202 MICHAEL PLACE - FALLS CHURCH, VIRGINIA, 22046
COUNTY OF FAIRFAX, VIRGINIA

PLANNING DESIGN ARCHITECTURE
9007 OPERA ALLEY, MANASSAS, VA. 20110 703.257.9669

REAR ELEVATION

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| ISSUE DATE | DATE | DESCRIPTION |
|------------|------------|------------------------|
| | 10.11.2004 | 100% CLIENT SUBMISSION |
| | 11.03.2004 | 100% CLIENT SUBMISSION |
| | 01.17.2005 | 100% CLIENT SUBMISSION |
| | 07. 2005 | PERMIT SUBMISSION |

| REVISION DATE | DATE | DESCRIPTION |
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04 - 08 - 025

A - 2.4