BOWMAN / JACKSON RESIDENCE

14540 COLONY COURT WOODBRIDGE, VIRGINIA 20112

COUNTY OF PRINCE WILLIAM VIRGINIA



ABBREVIATIONS RFFFR(FNCF) ADDITION GALLON ABOVE FINISHED FLOOR GYPSUM WALLBOARD REFRIGERATÓR **GENERAL** AIR HANDLING UNIT REG. REINF. REGISTER GROUND FAULT CIRCUIT INTERRUPTER ALUMINUM REINFORCEMENT(ING) **APPROX.** APPROXIMATE GLASS/TEMPERED **AVG.** AVERAGE REVISION GYPSUM ROOF BRD. B.F.F. ROUGH HORIZONTAI BELOW FINISHED FLOOR SEWER LINE **BITUMINOUS** HOSE BIB HEIGH1 SANITARY SCHED. SEW. SH. SHT. SPEC. HOLLOW METAL SCHEDULE BASEMENT **HORSEPOWER** SHOWER BRITISH THERMAL UNIT HTR. H.W. B.U.R. BUILT-UP ROOFING HFATFR SPECIFICATION(S) HOT WATER STAINLESS STEEL COURSE(S) CABINET INSIDE DIAMETER **STAGGERED** CURB AND GUTTER **STANDARD** INCL. INSUL. INT. CEMENT(IOUS) INCLUDE(ING) STORAGE INSULATION STL. STEEL STRUCT'L STRUCTURAL C.F.M. CUBIC FEET PER MINUTE INTERIOR CIRCUIT SUPPLY **JANITOR** CENTER LINE SUSP. SUSPENDED JOIST SYM. SYS. JOINT SYMBOL CAULKING SYSTEM CLO. KITCHEN **THERMOSTAT** CONCRETE MASONRY UNIT LAMINATE LAVATORY TONGUE AND GROOVE C.O. CLEANOUT POUND TANGENT LIGHTING TO BE DETERMINED CONC. CONCRETE LIGHTING CONNECTION MAXIMUM CONSTRUCTION **TEMPERATURE** MECHANICAL THK. TOPO. CORRIDOR THICK(NESS) MEMBRANE CERAMIC TILE TOPOGRAPHY(ICAL) TR. TYP. UNFIN. COLD WATER MEZZANINE TREAD MANUFACTURED TYPICAL MFR. UNFINISH(ED) MANUFACTURER DIRECT CURRENT UNDERGROUND MIN. M.O. MINIMUM UNDERSIDE MASONRY OPENING DIAMETER VOLTS DIAGONAL VACUUM NOT IN CONTRACT DIFFUSER VAPOR NO. NOM. VARIABLE DIMENSION NOMINAL DISC. DIST. DISCONNECT VARIFS DISTANCE VAPOR BARRIER ON CENTER VINYL COMPOSITION TILE OPENING VENTILATION OPPOSITE VERT. V.I.F. DOWNSPOUT VERTICAL O.H.D. OVERHEAD DOOR VERIFY IN FIELD DOORSTOP VOL. V.T. V.T.R. DISHWASHER VOLUME VINYL TILE DRAWING PUSH BUTTON VENT THRU ROOF VINYL WALL COVERING **ELVATION (HEIGHT)** PROPERTY LINE ELEVATION (FACADE) WASTE LINE PLASTIC LAMINATE EMERGENCY PI ASTFR ENGR. EQUIP. WITHOUT **ENGINEER** PLYWD. PLYWOOD WATER CLOSET FOUIPMENT **PREFAB.** PREFABRICATED MOOD WATER HEATER **FXHAUST EXPANSION** WATERPROOF PLUG PROJECT WAINSCOT **PROP'D** PROPOSED WELDED WIRE MESH POUNDS PER SQUARE INCH FLOOR DRAIN W.W.F. WELDED WIRE FABRIC PAINTED FIXTURF YD. QUARRY TILE FI OOR **FLUOR.** FLUORESCENT FEET PER MINUTE

SYMBOLS AND MATERIALS

DOOR TYPE C.M.U. WINDOW TYPE KITCHEN ____ROOM NAME CONCRETE ROOM NUMBER UNDISTURBED EARTH SECTION ELEVATION ENLARGED

DETAIL

KEYNOTE

ELEVATION

BATT INSULATION

RIGID INSULATION PLYWOOD WOOD (ROUGH) GRAVEL/STONE

. ALL DIMENSIONS ARE TO FINISHED WALL, U.N.O. 2. CONTRACTOR TO COORDINATE ALL ELECTRICAL, PLUMBING AND HVAC ROUTING THROUGH CONCEALED SPACES. CONTRACTOR SHALL COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. DRAWINGS PROVIDE SCHEMATIC ARRANGEMENTS ONLY.

PLACEMENT IN CRITICAL AREAS WHEN CHALK LINE LAYOUT HAS BEEN COMPLETED BY THE CONTRACTOR. 4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE CLEARANCES WITH ALL OTHER TRADES.

3. CONTRACTOR SHALL NOTIFY THE ARCHITECT TO VERIFY WALL

5. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE

6. T.B.D. (TO BE DETERMINED) INDICATES AN ITEM TO BE SELECTED BY THE APPROPRIATE PARTY AT A LATER DATE. V.I.F. (VERIFY IN FIELD) INDICATES AN ITEM OR DIMENSION THAT IS ASSUMED TO EXIST BUT REQUIRES VERIFICATION DURING

CONSTRUCTION. CONSULT DESIGNER IF DISCREPANCY EXISTS.

. D.I.F. (DETERMINE IN FIELD) INDICATES A DIMENSION WHICH IS DETERMINED BY OTHER CONDITIONS SPECIFIED ON THE DRAWINGS. 9. A DIMENSION LABELED "CLR." INDICATES THAT THE SPECIFIED CRITICAL DIMENSION BE MAINTAINED. 10. A DIMENSION LABELED "MIN." INDICATES THAT THE REQUIRED DIMENSION MAY NOT BE LESS THAN THE SPECIFIED

THE FOLLOWING ITEMS SHALL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. ALL FEATURE LIGHTING FIXTURES AS INDICATED ON RCP AND POWER / DATA PLANS. 2. ALL APPLIANCES AND EQUIPMENT AS INDICATED ON RCP AND

PHASING TO BE DETERMINED.

1. CONTRACTOR SHALL STABILIZE ALL DISTURBED SOIL AREA WITH

REASONABLY INFERRED BUT NOT SPECIFICALLY SHOWN. 3. EX'G WALLS/ SURFACES AFFECTED BY NEW WORK SHALL BE REFINISHED TO NEAREST CORNER. 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE W/ ALL APPLICABLE CODES. 5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-CONTRACTORS VISIT THE JOB SITE, REVIEW

2. CONTRACTOR SHALL INCLUDE IN THEIR PRICE ALL ITEMS

THE PLANS AND SPECIFICATIONS, UNDERSTAND THE SCOPE OF WORK IN ITS ENTIRETY, AND POINT OUT ANY INCONSISTENCIES PRIOR TO BIDDING / CONSTRUCTION. 6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS PRIOR TO FABRICATION OR INSTALLATION OF

7. CONTRACTOR SHALL NOT SCALE DRAWINGS AND DISCREPANCIES BETWEEN EXISTING CONDITION AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT

8. ALL SURFACES DAMAGED BY NEW CONSTRUCTION SHALL BE REPAIRED, PATCHED, OR REFINISHED TO MATCH ADJACENT

BID REQUIREMENTS

SEE ATTACHED DOCUMENTATION

COVER SHEET GENERAL NOTES A - 0.2 GENERAL NOTES A - 0.3 WALL TYPES **ROOM - MATERIAL SCHEDULES** DOOR - HARDWARE SCHEDULE WINDOW SCHEDULE

ARCHITECTURAL

OWNER

14540 Colony Court

Woodbridge, Virginia 20112

Mr. Richard Edward Hostelley Jr.

CONTRACTOR

IDESIGN CRITERIA

<u>USE GROUP</u> SINGLE FAMILY RESIDENTIAL

CONSTRUCTION TYPE

SCOPE OF WORK
INTERIOR ALTERATIONS TO BASEMENT, FIRST AND SECOND FLOORS.

BUILDING CODE
UNIFORM VIRIGINIA STATE BUILDING CODE
INTERNATIONAL RESIDENTIAL RESIDENTIAL CODE (I.R.C.) 2006

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Ms. Regina Bowman and Mr. Art Jackson

Commonwealth of Virginia Lic. No. 013719

CABINET - PLUMBING - EQUIPMENT SCHEDULES NOT IN SET

SEE SHEET SN-1 FOR STRUCTURAL DESIGN LOADS AND NOTATION

A - 2.1 DEMO BASEMENT PLAN DEMO FIRST FLOOR PLAN DEMO SECOND FLOOR PLAN BASEMENT NEW WORK PLAN

FIRST FLOOR NEW WORK PLAN A - 3.2 SECOND FLOOR NEW WORK PLAN BASEMENT REFLECTIVE CEILING PLAN FIRST FLOOR REFLECTIVE CEILING PLAN SECOND FLOOR REFLECTIVE CEILING PLAN BASEMENT POWER / DATA PLAN FIRST FLOOR POWER / DATA PLAN

SECOND FLOOR POWER / DATA PLAN BASEMENT ENLARGED MILLWORK PLAN FIRST FLOOR ENLARGED MILLWORK PLAN SECOND FLOOR ENLARGED MILLWORK PLAN

INTERIOR ELEVATIONS INTERIOR ELEVATIONS INTERIOR ELEVATIONS INTERIOR ELEVATIONS INTERIOR ELEVATIONS A - 6.9 INTERIOR ELEVATIONS INTERIOR ELEVATIONS

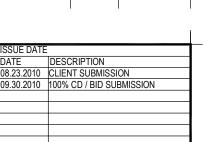
BASEMENT FINISH PLAN A - 7.2 FIRST FLOOR FINISH PLAN A - 7.3 SECOND FLOOR FINISH PLAN

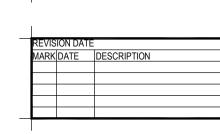
STRUCTURAL NOTES - NOT IN SET CONSTRUCTION DETAILS - NOT IN SET FIRST FLOOR FRAMING PLAN SECOND FLOOR FRAMING PLAN ROOF FRAMING PLAN

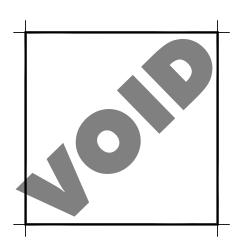


BOWMAN-JACKSON RESIDENCE

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BUILDING RULES

GCs and GCs' personnel will use loading dock area for all deliveries and will not use loading dock for vehicle parking.

2. No utilities (electricity, water, gas, plumbing) or service to the tenants are to be cut off or interrupted without first having secured in writing, the permission of the Owner with at least 72 hours notice, 3 business days.

3. The GC shall be responsible for the proper disposal of any construction debris and refuse, that is a result of work by their subcontractors or their own demolition and/or installation. Trash must be removed form the work area daily and from the site weekly. The GC must not use the Building Owner's dumpster unless specifically authorized to do so. Owner reserves the right to bill for any costs incurred to clean up debris left by the GC or any subcontractor. The location of the construction dumpster is to be coordinated with the Owner.

4. GC will supply Owner with a copy of all permits prior to the start of any work.

5. GC will post the demolition permit on a wall of the site while work is being performed.

6. Public areas, corridors, and elevator floors and walls are to be protected by masonite board, carpet, cardboard, or pads as required. Provide runners or a series of walk-off mats from the elevator to the suite under construction. Walk-off mats to be provided at entrance doors.

. Public corridors, elevators, bathrooms, and lobby, etc. must be cleaned immediately after use.

8. Owner will be notified of all work schedules of all workmen on the job and will be notified, in writing, of names of those who may be working in the building after "normal" business hours.

9. Passenger elevators shall not be used for moving building materials or construction personnel. The designated freight elevator is the only elevator to be used for these purposes. This elevator may be used only when it is completely protected as determined by Owner. This elevator may not be used during morning, lunch, and evening "rush" hours.

10. No building materials are to enter the building by way of main lobby, and no materials are to be stored in any lobbies at any time. Store all construction materials and debris in suite.

11. Construction personnel are not to eat or congregate in the lobby or in front of the building. There will be no smoking, eating, or open food containers in the elevators, carpeted areas, or public lobbies. No smoking on job site. Smoking is allowed only in designated areas.

12. There will be no radios allowed on the job site. All workers are required to wear a shirt, shoes, and full length trousers. There will be no yelling or boisterous activities. There will be no alcohol or controlled substances allowed or tolerated.

13. The GC shall at all times ensure that work is being performed so as to avoid disruption of the business of the building or

14. All materials, work, installations, and decorations of any nature brought upon or installed on the job site shall be at the contractor's risk and neither Owner nor any party acting on Owner's behalf shall be responsible for any damages thereto or loss or destruction thereof.

15. Owner is to be contacted by the GC when work is completed for inspection. All damage to the building will be determined at that time.

16. Construction debris and materials shall be stored and transported in such a manner as not to create a hazardous or unsightly condition. The construction site shall consistently be maintained in a clean and hazrd free condition.

CONTRACTOR REQUIREMENTS

Materials likely to emit Volatile Organic Compounds ("VOCs) are as

Paints, varnishes and lacquers Wood preservatives, stains and other wood finishing products Waterproofing products Glazing compounds

Adhesives

Duct sealants Carpet seam sealants

These materials shall be applied according to manufacturer's specifications. Preferably, the contractor should provide evidence that these products do not emit VOCs or that they have been tested to emit less than 0.5mg/M2 (total VOCs). Alternatively, the submission of Material Safety Data Sheets (MSDS), to Owner, is required for these products prior to application.

The GC is responsible for the following:

Performing work with the above materials during non-business hours. This requirement maybe waived if evidence has been provided that the product does not emit VOCs, or does not emit offensive

Scheduling work through the Owner's Property Management

Properly ventilating the affected areas during and after installation procedures and ensuring VOCs emissions do not accumulate in existing tenant areas.

GENERAL NOTES

Hereafter Rich Hostelley Architect will be referred to as "RHA", the General Contractor will be referred to as "GC" and Building Management or Client shall be referred to as "Owner" in these documents. Prior to submittal of his cost proposal, the GC shall fully acquaint himself with conditions relating to construction and labor, as he understands the site and its difficulties and restrictions attending the execution of the work under the contract. The GC shall fully, thoroughly examine and be familiar with the drawings and specifications. The GC shall certify with RHA any conflicts between the construction plans themselves or between the engineers and architectural drawings prior to submittal of his cost proposal. If RHA is not contracted, the GC shall accept responsibility to correct any work installed that is not in accordance with the Contract Documents. The bid proposal shall be based on equipment, materials, manufacturers and systems described in the contract documents without exception unless specifically indicated in the proposal.

The GC shall verify all dimensions and quantities in the field. Do not scale drawings. If there are any discrepancies, GC shall notify RHA. The GC shall verify requirements for all equipment indicated on the drawings whether supplied by the Owner or the GC.

Any modification, reordering or replacement of materials resulting from the lack of coordination by the GC shall be done at no expense to the Owner when so determined and directed by RHA. The GC shall provide protection to existing finishes in public areas and shall be responsible to repair any damages caused by him or his subcontractors. RHA shall inspect all partition layout chalk line prior to partition construction. GC to contain demolition work, keep dust, debris, and fumes away from occupied and used areas of the building. GC to ensure safe passage of persons around the area of demolition, keep exits required by code open for emergency use and keep paths clear and safe. GC to perform work with the least possible interference to the normal building operations and with minimal disturbance to tenants. GC to perform work during regular

business hours of operation. Any coordination as to scheduling or staging of work should be handled with the building Owner. GC shall verify locations of all telephone and electrical outlets with RHA by means of chalk layouts prior to installation. RHA shall be notified once the layout is ready for verification. Telephone and data outlets are shown for convenience of tenant and the Owner is not responsible for their installation. These outlets and any associated wiring are to be installed by the telephone vendor of tenant's choice and at its sole expense. Access panels shall be installed at

SECTION 01010- SUMMARY OF THE WORK

according to all code and maintenance requirements.

Drawing and general provisions of Contract, including General and Supplementary Conditions and other Division Specifications sections. apply to the Work in its entirety. Work of the Contract can be summarized by references to the Contract, General Conditions, Supplementary Conditions, Specification Sections, Drawings, Addenda and modifications to the Contract Documents issued subsequent to the initial printing (if any of the preceding are provided) and including but not necessarily limited to printed material referenced by any of these. It is recognized that work of the contract is also unavoidably affected or influenced by governing regulations, natural phenomenon including weather conditions and other forces outside the contract documents. During the entire construction period the GC shall have use of the premises for construction operations, including use of the site, so determined by the Owner, and as permitted by the laws, ordinances, permits and contract documents.

any location requiring future access i.e., junction boxes, piping

valves, VAV controls, etc., whether or not indicated on drawings and

Partial Owner Occupancy: The Owner reserves the right to place and install equipment as necessary in completed areas of the building and to occupy such completed areas prior to substantial completion, provided that such occupancy does not substantially interfere with completion of the work. Such placing of equipment and partial occupancy shall not constitute acceptance of the Work or any part of the work.

Except as specifically noted, GC shall provide and pay for:

-Labor, materials and equipment. -Tools, construction equipment and machinery. -Water, heat, and utilities required for construction. -Other facilities and services necessary for proper execution and completion of work.

 Pay legally required sales, consumer, and use taxes. Secure and pay for, as necessary for proper execution and completion of Work, and as applicable at time of receipt of bids:

–Permits. -Government fees.

–Licenses.

Give required notices. Comply with codes, ordinances, rules and regulations, orders and other legal requirements of public authorities, which bear on performance of Work. Promptly submit written notice to RHA of observed variance of Contract Documents from legal requirements. It is not the Contractor's responsibility to make sure that Drawings and Specifications comply with codes and regulations.

SECTION 01045- CUTTING & PATCHING

Definition: "Cutting and patching" includes cutting into existing construction to provide for the installation or performance of other work and subsequent fitting and patching required to restore surfaces to their original condition. "Cutting and patching" is performed for coordination of the work, to uncover work for access or inspection, to obtain samples for testing, to permit alterations to be performed or for other similar purposes. Before cutting and patching the following categories or work, obtain the Architect's approval to proceed with cutting and patching described in the procedural proposal for cutting and patching.

-Miscellaneous structural metals, including lintels, equipment supports, stair systems and similar categories or work.

-Structural concrete.

submittal.

-Exterior curtain wall construction.

-Piping, ductwork, vessels and equipment.

Primary operational systems and equipment.

-Water/moisture/vapor/air/smoke barriers, membranes and

-Control, communication, conveying, and electrical wiring systems. Procedural Proposal: Where prior approval of cutting and patching is required, submit proposed procedure for this work well in advance of the time work will be performed and request approval to

proceed. Include the following information, as applicable, in the

-List products to be used and firms that will perform work.

-List utilities that will be disturbed or otherwise be affected by work, including those that will be relocated and those that will be out-of-service temporarily. Indicate how long utility service will be disrupted.

-As determined by the Architect, where cutting and patching of structural work involves the addition of reinforcement, submit details and engineering calculations to show how that reinforcement is integrated with original structure to satisfy requirements.

Approval by the Architect to proceed with cutting and patching work does not waive the Architect's right to later require complete removal and replacement of work found to be cut and patched in an unsatisfactory manner. Except as otherwise indicated, or as directed by the Architect, use materials for cutting and patching that are identical to existing materials. If identical materials are not available, or cannot be used, use materials that match existing adjacent surfaces to the fullest extent possible with regard to visual effect. Use materials for cutting and patching that will result in equal-or-better performance characteristics. Restore exposed and affected areas in a manner acceptable to the Architect.

SECTION 01310- SCHEDULES, REPORTS

PAYMENTS

-Request for payment: Except as otherwise indicated, progress payments should be submitted for approval on a regular basis. Each application must be consistent such as the initial application, the application at substantial completion and the final payment application involve additional requirements. Submit request on

Material/Fabrication Values: for each unit of work where payment requests will be made on account of material or equipment purchased, fabricated or delivered, but not yet installed, show the "initial value" for payment request and value added for subsequent stage or stages of completion on that unit of work.

Application Preparation: Except as otherwise indicated, complete every entry provided for on the form, including notarization and execution by Architect/Engineer without action. Entries must match current data of schedule of values and progress schedule. Listing must include amounts of change orders issued "prior to last day of the period of construction" covered by application.

Initial Payment Application: The principal administrative actions and submittal which must precede or coincide with submittal of contractor's first payment application can be summarized as follows, but not necessarily limited to:

Schedule of values. -Progress schedule (preliminary if not final). -Consent of surety for final payment. -Performance and/or payment bonds (if required). -Evidence satisfactory to Owner that Contractor's insurance coverage

Application at Time of Substantial Completion: Following issuance of Architect's final "certificate of substantial completion", and also in part as applicable to prior certificate an portion of completed work as designated, a "special" payment application may be prepared and submitted by Contractor. The principal administrative actions and submittals, which must precede or coincide with such special applications can be summarized as follows, but not necessarily by way of limitation:

-Occupancy permits similar approval or certifications by governing authorities and franchised services, assuring Owner's full access and

-Warranties, (guarantees), maintenance agreements and similar provisions or contract documents.

-Test/adjust/balance records maintenance instructions, meter readings, startup performance reports, and similar Changeover information germane to Owner's occupancy, use, operation and maintenance of completed work.

-Application for reduction (if any) of retainage, and consent of surety. -Advice to Owner on coordination of shifting insurance coverage,

including proof of extended coverage as required. -Listing of Contractor's incomplete work, recognized as exceptions to Architect's certificate of substantial completion.

Final Payment Application: the administrative actions and submittals which must precede or coincide with submittal of final project close out documents.

Contractor's final payment application can be summarized as follows, but not necessarily by way of limitation:

-Completion of projects close-out requirements. -Completion of items specified for completion (regardless of whether

-Assurance, satisfactory to Owner, that unsettled claims will be settle and that work not actually completed and accepted will be completed without undue delay.

-Name, address and telephone # of architect. -Name, address and telephone # of Engineer. -Name, address and telephone # of General Contractor.

special payment application was previously made.)

-Name, address and telephone # of Sub Contractor. -Name, address and telephone # of Suppliers. Name of Manufacturer. -Number and title of appropriate specification section.

-Drawing number and detail references, as appropriate.

-Similar definitive information as necessary.

SECTION 01340-SHOP DRAWINGS, PRODUCT DATA AND SAMPLES

Shop drawings are technical drawings and data that have been specially prepared for this project, including but not limited to the following items: fabrication and installation drawings, manufacturing instructions, Templates, Coordination drawings, Schedules, Contractor's and/or engineering calculations. Product data includes standard printed information on manufactured products that has not been specially prepared for this project. Samples are physical examples of work. Miscellaneous submittals are work-related, non-administrative submittals that do not fit the three previous categories, including but not limited to the following:

Specially—prepared and standard printed warranties, Maintenance agreements, Workmanship bonds, Field measurement data, Operating and maintenance manuals, Keys and other security protection devices, Maintenance tools and spare parts, Overrun stock.

Coordination: Coordinate the preparation and processing of submittals with the performance of the work. Coordinate each separate submittal with other submittals and related activities such as testing, purchasing, fabrication, delivery and similar activities that require sequential activity.

Review Time: Allow sufficient time so that the installation will not be delayed as a result of the time required to properly process submittals, including time for resubmittal, if necessary. Allow two weeks for the Architect's initial processing of each submittal. Allow a longer time period where processing must be delayed for coordination with subsequent submittals. The Architect will advise the Contractor promptly when it is determined that submittal being processed must be delayed for coordination.

<u>General submittal requirements:</u>

- Contractor to adhere to Submittal Schedule presented with Project Schedule prior to commencement of construction.

-Refer to relevant Specification Sections for individual product Submittal requirements.

-Prior to submission to the Architect, the Contractor shall stamp, date and sign or initial submittal certifying: -Submittal has been reviewed by the contractor -Field dimensions are verified

-Conditions are coordinated with adjacent construction work -Variations from Contract Documents are identified and explained

-Deliver each Submittal to the Architect with a separate transmittal indicating the following: -Project Name -Project Address -Submittal Number

-Architect's project number -Contractor's name and address -Vendor/Subcontractor name and address -Drawing sheet or Specification Section calling for product being -Itemized and numbered list of all items included in Submittal -Provide 2" x 4" space for Architect's submittal review stamp

-Where item is indicated as "standard" finish or material, submit manufacturer's complete finish and material selections for review by the in the application indicated. Include in the certification, the GC's waiver

-Where item is indicated as "custom" material or finish, match Architects record sample selection. Resubmit as required until acceptable finish is achieved.

-Include index sheet with bound sets of Product Data. Index to dentify, in order, entire contents of Submittal.

-Identify each Sample with a label indicating the following: -Submittal Number

-Architect's Project number

treatment is required

-Location and intended use of Material

-Name of Material -Symbol used in Construction Documents (ex: P-1, VB-7, etc.) -Finish of Material -Composition of Material

-Samples of framing material to include a corner joint

-Finish samples shall follow requirements in related Specification Section for size of sample to be submitted.

-Samples retained by the Architect are to establish the minimum standard of acceptable quality and finish for the material submitted.

-Samples shall be fireproofed, Scotch Guarded, etc. when such

-When Samples are rejected, the Contractor will be given reasons for rejection and resubmit Samples until they comply with the Contract

-At the option of the Architect or Owner, Samples may be subject to testing. Any additional samples that may be required for testing shall be provided by the Contractor at no additional cost.

shall have the original submittal number with an alphabetic or numeric Submittal Requirements: Submit, as appropriate, shop drawings, product

Resubmittals shall have all changes clearly identified. Resubmittals

-Resubmittals are handled the same as original submittals.

data, sample and miscellaneous submittals for all products, materials, furnishings, assemblies, accessories, equipment and other items, though not specifically identified, that are necessary to complete the work.

Submit the following quantities:

-Three complete sets of drawings, collated and unbound. -The Architect has discretion to mark one set and make copies for distribution.

-Three sets each, plus the number the GC requests returned, of manufacturer's literature, specifications, installation instructions, etc. clearly identifying which products and/or procedures will be used.

Three samples of each item submitted, plus the number the GC requests returned. Submit samples of all finishes in sizes determined by the Architect, but in no case less than 6 inches square.

-Miscellaneous Submittals: Submit in numbers as appropriate to the parties requiring a copy.

-Contractor shall wait for approval of all submittals prior to proceeding with procurement and installation of all items required in submittals.

SECTION 01631 - PRODUCTS AND SUBSTITUTIONS

"Products are items purchased for incorporation in the Work, regardless of whether they were specifically purchased for the project or taken form the GC's previously purchased stock. The term "product" as herein which must be performed before the certificate will be issued. The includes the terms "material" equipment, system and other terms

Substitutions: the GC's requests for changes in the products, materials, | Final Acceptance: Complete the following before equipment and methods of construction required by the contract documents are considered requests for "substitutions" and are subject to the requirement specified herein. The following are not considered as | Conditions. List known exceptions, if any, in the request.

-Revisions to the contract documents, where requested by the Owner or Architect, are considered as changes and not substitutions.

-Substitutions requested during the bidding period, which have been accepted prior to the Contract Date, are included in the contract documents and are not subject to the requirements as substitutions as

-Specified GC options on products and construction methods included in the contract documents are not subject to the requirements for substitutions as herein specified.

-Except as otherwise provided on the contract documents, the GC's determination of and compliance with governing regulations and orders as issued by governing authorities do not constitute "substitutions" and do not constitute a basis for change

Compatibility of Options: Compatibility of products is a basic requirement of product selection. When the GC is given the option of selecting between two or more products for use in the project, the product selected must be compatible with other products previously selected, even if the products previously selected were also GC options. The complete compatibility between the various choices available to the GC is not assured by the various requirements of the Contract documents, but must be provided by the GC.

Request for Substitution: Submit 3 copies of each request for substitution. In each request identify the product or fabrication or installation method to be replaced by the substitution, include related specification section and drawing numbers, and complete documentation showing compliance with the requirements of the work. Include the following information, as appropriate, with each request.

-Provide samples where applicable or requested. -Provide complete coordination information. Include all changes required on other elements of the work to accommodate the

substitution

-Provide a statement indicating the effect the substitution will have on the work schedule in comparison to the schedule without approval of the proposed

PS20. -Provide complete information, including proposal of the net change, it any in the Contract Sum.

-Provide certification by the GC to the effect that, in the GC's opinion, after thorough evaluation, the proposed substitution will result in work that in every significant respect is equal—to or better than the work required by the Contract Document, and that it will perform adequately of rights to additional payment or time, which may subsequently be necessary because of the failure of the substitution to perform

Architect/Engineer's action: Within one week of receipt of the GC's request for substitution, the Architect/Engineer will request additional information or documentation. The ArcItitect/Engineer will notify the GC of either the acceptance or rejection of the proposed substitution.

-Acceptance will be in the form of a change order.

-Rejection will include a statement giving reasons for the rejection.

-Store heavy material in a manner that will not endanger the

Architect/Engineer's acceptance of shop drawings, product data or

samples which relate to work not complying with requirements of the

supporting construction. The GC's submittal and the

-Deliver products to the site in the manufacturer's sealed container or other packaging system, complete with labels and instructions for handling, storing, unpacking and installing.

Contract Documents, does not constitute an acceptable or valid request for a substitution, nor approval thereof. Provide products that comply with the requirements of the Contract Documents and that are undamaged and, unless otherwise indicated, unused at the time of installation. Provide products that are complete with all accessories, trim finish, safety guards and other devices and details needed for a complete installation and for the intended use and

SECTION 01700-PROJECT CLOSE-OUT

Project close-out is the term used to describe certain collective project requirements, indicating completion of the work that is to be fulfilled near the end of the Contract time in preparation for the final payment to the GC and the normal termination of the Contract.

Substantial Completion: In the progress payment request that coincides with, or is the first request following, the date substantial completion is claimed, show % completion for the portion either 100 of the Work claimed as "Substantially Complete", or list incomplete items, the value of incomplete work, and reasons for the work being incomplete.

-Advise Owner of pending insurance changeover requirements.

-Submit specific warranties, workmanship/maintenance agreements, final certification and similar documents.

-Obtain and submit releases enabling the Owner's full, unrestricted use

of the work and access to services and utilities. Where required, include occupancy permits, operating certificate and similar releases. -Deliver tools, spare parts, extra stock of material and similar physical

items to the Owner. -Make the final changeover of locks and transmit the keys to the Owner. Advise the Owner's personnel of the changeover in security

-Complete startup testing of systems and instruction of the Owner's operating and maintenance personnel, and deliver operating and maintenance manuals. Discontinue at change over and remove temporary facilities and services from the project site, along with construction tools and facilities, mockups and similar elements.

—Complete final clean up requirements, including touch up painting and repair of marred surfaces.

Inspection procedures: Upon receipt of the GC's request for inspection. the Architect will either proceed with inspection or advise the contractor of unfulfilled prerequisites. -Following the initial inspection, the Architect will either prepare the certificate of substantial completion, or will advise the GC of work

Architect will repeat the inspection when requested and when assured that the Work has been substantially completed. requesting the Architect/Engineer's final inspection for certification of

final acceptance, and final payment as required by the General -Submit the final payment request with final releases and supporting documentation not previously submitted and accepted. Include certificate of insurance for products and completed operations where

-Submit a certified copy of the Architect/Engineer's final punch-list of itemized work to be completed or corrected, stating that each item, has been completed or otherwise resolved for acceptance and has been endorsed and dated by the Architect/Engineer.

-Submit final meter readings for utilities, a measured record of stored fuel, and similar data either as the date of substantial completion, or else when the Owner took possession of and responsibility for corresponding elements of work.

-Submit consent of surety.

-Submit a final liquidated damages settlement statement, acceptable to the Owner.

-Submit evidence of final, continuing insurance coverage complying with insurance requirements.

Reinspection Procedure: The Architect/Engineer will reinspect the work upon receipt of the GC's notice that the work, including punch—list items resulting from earlier inspections, has been completed except for these items whose completion has been delayed because of circumstances that are acceptable to the Architect/Engineer.

Upon completion of reinspection, Architect/Engineer will either prepare

a certificate of final acceptance, or will advise the GC of work that is

incomplete or of obligations that have not been fulfilled, but are required for final acceptance. Cleaning: Provide final cleaning of the work at the time indicated. Employ experienced workers or professional cleaners for final cleaning. Clean each surface or unit of work to the condition expected from a

SECTION 06100 -ROUGH CARPENTRY

Lumber grading rules and wood species shall be in conformance with

normal, commercial building cleaning and maintenance program.

Comply with the manufacturer's instructions for operations.

PART 2- PRODUCTS

PART 1- GENERAL

Lumber: the best of its respective kinds, as best suited for the particular purpose intended, free from shakes, loose knots, or other imperfection which might impair its strength, durability, or appearance.

-Grade stamp to contain symbol of grading agency certified by Board of Face veneer shall be matched for color and grain to produce Review. America Lumber Standards Committee, mill number or name, grade lumber species grouping or combination designation rules under which grades where applicable and condition of seasoning at time of manufacturer.

 Rough lumber and plywood: pressure impregnated with fire protective chemicals to provide a fire hazard classification of a flame spread not over 25 in accordance with approved UL level.

-In addition, rough lumber air dried to a moisture content not to exceed bearing appropriate markings.

Nails: common steel wire, untreated for interior work per Fed. Spec. FF-N-105, galvanized for exterior work.

Bolts: standard mild steel, square head machine bolts with square nuts and malleable iron or steel plate washers or carriage bolts with square nuts and cut washers. Wood screws: per Fed. Spec. FF-S-111D.

Concrete and Masonry Anchors: standard expansion—shield self—drilling type

concrete anchors where indicated.

PART 3-EXECUTION

Erect rough carpentry true to line, levels and dimension required, squared, aligned, plumbed, and securely fastened in place. Do all cutting, fitting drilling and tapping of other work as required to secure in place and to perform the work included herein.

Provide grounds, blockings, nailing strips, furring, curbs etc. wherever shown or required to afford proper support of construction and material including the work of other trades. Dress to sizes shown or required and set true at the proper lines and levels, block or shim as required and securely fasten them in place to receive finished work. Provide and afford adequate temporary protection to finished work installed by other trades, such as saddles, door frames, stone work, and entrances which may be damaged during the course of the work on this project. Remove and install temporary protection and enclosures when need of same ceases or when temporarily interfere with the progress of the work. Provide all rough framing hardware, such as nails, screws, bolts, anchors, hangers, clamps, slips, inserts, miscellaneous fastenings and similar items of the best quality and the proper size and kind to adequately secure the work altogether in place, in a rigid, safe and substantial manner.

Secure rough carpentry to steel members: clips, hangers, or straps welded or bolted to the steel and securely nail, screw or bolt to the woodwork, as required by conditions.

Nailing and bolting of wood members shall conform to the minimum requirements of the "BOCA -National Building Code", Section 2305.0, Thirteenth Edition. Recess all fastenings as required, to conform with requirements of finish materials unless otherwise noted.

SECTION 06400-FINISH CARPENTRY

Unless otherwise shown or specified, all material and workmanship for items of this section shall conform to AWI "Premium Grade" requirements. Fabricator must be a firm that can demonstrate that it has successfully produced woodwork similar to the quality specified and in equivalent quantities. Installation of architectural woodwork items shall be by the same firm, which fabricated them. Afford the Architect and Owner every facility for observation of work at the mill or shop at such times as they name. Provide written guarantee, bonded by an acceptable Surety company that all work under this section shall be free from defects in workmanship and materials for two (2) years from the date of final acceptance by the Owner of the entire work. Defective work shall be removed and replaced with acceptable work at no cost to the Owner, and at such times as designated

The following will be considered defects without being limited thereto:

-Deformation, warpage, opening up of joints, elegraphing of cores, delamination of veneers, edges or other finishing

-Permanent etching, staining and other deterioration of finishes.

materials, failures in fastening and anchorage, sagging of panels and doors. Warping of doors (over 1/8. in 7'-0"). -Discoloration, fading and staining of finishes.

-Development of delamination, buckles, blisters, wrinkles, loose edges, or open seams or wood face veneers. All materials and work of this Section shall be properly crated, wrapped and protected for shipping and shall be properly protected from damage from time of shipment from shop to final acceptance of work. Cover, ventilate, and protect work of this Section from damage caused by weather, moisture,

heat, staining, dirt, abrasions, any other causes which may adversely affect

distortion, twisting, opening of joints and seams, delamination, loosening etc.

appearance or use, or which may cause deterioration of finish, warpage,

sound, kiln-dried lumber conforming to AWI Section 100.

of work of this Section.

conforming to CS 238-88.

perpendicular of face and back veneers.

banding shall conceal cross banding veneers.

PART 2- PRODUCTS Lumber: Except as otherwise indicated, shall be saugre edged, sized straight.

or hard maple. -Solid hardwood for clear finish: Grade 1, species and cut as selected by

-Solid hardwood for opaque (paint) finish: Grade II, basswood, birch, gums

Panel Products: Except as otherwise indicated, shall have particle board core, cross banding veneers, face and back veneers as specified and conforming to AWI Section 200.

-Particle board core (45lb. Density "Korpine" by Williamette Industriee or

equal) fire—retardent treated, UL labeled flame spread 25 or less,

-Cross building veneers shall be a diffuse porous low density species such as soft maple or Basswood. Cross banding veneers shall be smoothly and accurately cut to 1/6" thick, shall be free of knots, knot holes, rot splits, or other imperfections, shall be continuous without scarfing, laid with grain

(clear finish) veneers shall have solid wood edge banding of profiles shown, and shall be of same species and match color and graining of face veneer. Edge banding shall be tongued into core groove and pressure glued to core.

-Edges of exposed and semi—exposed plywood indicated to receive hardwood

-Plastic laminate: .051 inches thick surfacing material or equal; finish and colors as selected. Backing sheet or balancing sheet shall be used to prevent warping. Water resistant adhesive shall be used for laminating, per manufacturer's recommendations.

-Hardwood veneer for opaque (paint) finish: Paint grade birch or other

approved hardwood veneer plywood conforming to commercial standard

Unless shown otherwise, edge banding shall be mitered at corners. Edge

balance and continuity of character. Mineral streaks and other discoloration, worm holes, ruptured grain, loose texture, doze or shake, will not be permitted. The grain of the face veneers shall generally run vertically on vertical surfaces and horizontally and parallel to long dimension of horizontal surfaces. Face veneer leafs on each surface shall be full length, back match, center matched, or as indicated otherwise. Shop drawings shall show direction of graining for each face veneer leaf and joint locations between face veneer leafs. Backing veneers shall be of a species and thickness to balance the pull of the face veneers.

Standing and running trim and rails: Conform to AWI Section 300. Casework: Conform to AWI Section 400.

Closet and utility shelving: Conform to Section 600, Custom Grade.

Rough Hardware: All rough hardware, metal fastenings, anchors, angles, plates, dips, screws, bolts, shims, and similar items, in connection with the work of this Section shall be furnished and installed as required for the complete installation of the work of

Finish Hardware: All finish hardware required for the work of this Section shall be received and installed by this GC and be demonstrated to work freely, smoothly and effortlessly to the satisfaction of the Architect. Hardware shall be of high quality and shall be of type and manufacturer indicated on drawings.

Work of this section shall be put together at the Shop to the extent feasible unless Architect's approval is given to field assemble. Cut, fit and drill holes, reinforcing and other required work to the items of this Section to enable the proper installation of electro-mechanical items and systems and all other work coming into contact with items of this Section.

Shop Finishing: All finish colors, tones, shades, etc, shall be selected by Architect and finished work shall match approved samples in Architect's office under incandescent light, daylight and warm white fluorescent lights, i.e. actual job conditions.

-Comply with AWI specifications finish system 15 for catalyzed polyurethane finish.

Installation: Conform to AWI Section 1700. All items of finish and cabinet hardware for work of this Section shall be carefully fitted and secured in place as part of the work of this section. Locations and positioning of hardware shall be subject to the Architect's approval. Care shall be taken not to mar or damage hardware or other work.

Cleaning: Execute final cleaning just prior to acceptance af the entire work. Remove all protective materials, clean all surfaces of dirt, smears, finger marks, and all other contamination and foreign or extraneous manner. Use cleaning agents and solvents which will not damage material and finishes, as recommended for the purpose by the manufacturer of the material to be cleaned.

SECTION 07900-JOINT SEALERS

Single Source Responsibility for Joint Sealer Materials: Obtain joint

standard colors.

Type S, Grade NS, Class 25.

sealer materials from a single manufacturer for each different product required. Joint Width Conditions: Do not proceed with installation of joint

manufacturer for application indicated. PART 2 -PRODUCTS

sealers when joint widths are less than allowed by joint sealer

materials that are compatible with one another and with joint

otherwise indicated, as selected by Architect from manufacturer's

substrates under conditions of service and application, as demonstrated by testing or field experience. Colors: Provide color of exposed joint sealers indicated, or, if not

Compressible Filler: Premolded joint filler for sealing between partitions and exterior window mullions complying with ASTM D-1056, Grade RE 41E1 and SCE41.

-Filler material shall be Williams neoprene Type NN1 by Everlastic

Glazing Sealant: for sealing joints of glass to glass and to metal

and wood, thermoplastic solvent-based acrylic polymer, complying

countertops, and plumbing fixtures, provide one—part mildew

resistant elastomeric silicone sealant complying with ASTM C 920,

One-part Acrylic Emulsion: For all other joints to be sealed (not

to include glazing), provide one-port acrylic latex polymer sealant,

complying with ASTM C834-74 (nonsag) and formulated to be

recommended by the sealant manufacturer for the joint surfaces

Bond Breaker Tape: Polyethylene tape or other plastic tape as

recommended by the sealant manufacturer for the joint surfaces

with FS-TT-S-00230, Class B, Type II, solids of 95% acrylic. —Sealant shall be 60 Unicrylic by Pecora Corporation or equal. One-Part Mildew Resistant Silicone: For sealing joints with nonporous substrates around ceramic tile, showers, sinks, lavatory

-Sealant material shall be Dow Corning 786, G.E. SCS 1702, or accepted equal.

-Sealant material shall be AC-20 made by Pecora Corporation, Acrylic Latex made by Tremco, Inc., or accepted equal. Joint cleaner: Provide non-staining type of joint primer/sealer

recommended by the joint sealant manufacturer for preventing bond between seal and joint filler or other materials at back (3rd surface at joint. Provide self—adhesive tape wherever applicable. Joint Primer /Sealer: Provide the type of joint primer/sealer

to be primed or sealed. Sealant Backer Rod: Compressible rod stock polyethylene foam, polyethylene jacketed polyurethane foam, butyl rubber foam or,

PART 3 -EXECUTION

to be primed or sealed.

Clean, prime and back mask off joints by proven techniques recommended by the manufacturers of the sealant and products in which joints occur. Install and tool sealant by proven techniques recommended by the sealant manufacturer. -Cove joint configuration per figure 68 in ASTM C 962, unless

otherwise indicated. Clean off excess sealants or sealant smears adjacent to joints as work progresses by methods and with cleaning materials approved by manufacturers of joint sealers and of products in which joints occur.

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3.2010 CLIENT SUBMISSION

<u> ECTION 08110 — STEEL FRAMES AND DOORS</u>

PART 1 -GENERAL

Doors and Frames: Comply with Steel Door Institute recommended Specifications: Standard Steel Doors and Frames. (SDI—100) and as herein specified. Fire—Rated Assemblies: Construct and install ssemblies to comply with NFPA Standard No.80, and as herein specified.

PART 2 -PRODUCTS

Provide standard knock-down, mitered, steel frame with double rabbet profile sized to wrap partition 1/2 inch each side, to be rigid. neat in appearance and free from defects, warp or buckle and of commercial quality carbon steel conforming to ASTM A 366 and STM A568.

-Gage: 16 gage metal for openings not larger than 3'-0", 14 gage for larger openings and labeled frames.

-Door Silencers: Drill stops to receive 3 silencers on strike jambs of single—swing frames and 4 silencers on heads of double—swing frames. Silencer color: As specified.

-Mortar Boxes: Provide 26 gage steel mortar boxes, welded to frame, at back of finish hardware cutouts where mortars or other materials might obstruct hardware operation, include strike box. Provide Standard Steel Door, Flush seamless construction free from defects, warps or buckle and of commercial quality carbon steel sheets, 16 gage metal conforming to ASTM A366 and ASTM A568.

Hardware Preparation: Prepare doors and frames to receive mortised and concealed finish hardware in accordance with final Finish Hardware Schedule and templates provided by hardware supplier. Comply with applicable requirements of ANSI A 115 series specifications for door and frame preparation for hardware.

Reinforcement: Mortise, reinforce, drill and tap frames for mortise type hardware. For surface mounted hardware, provide internal einforcement which is to be field drilled and tapped. Locate hardware in frames to match location shown or specified for doors and in accordance with approved hardware schedule and templates.

Provide the following:

approved hardware manufacturer.

finished surface ready to receive finish paint.

-Hinge reinforcements: $3/16 \times 1-1/2 \times 10^{\circ}$. -Strike reinforcements: 3/16 by size as required by approved hardware manufacturer. -Closer and holder reinforcement: 12 gauge, size as required by

-Provide full enclosing 26 gage steel cover boxes over all mortises. Offset reinforcement so that faces of hinges or keepers are flush with face of the frame rabbet.

Shop Paint: Clean, treat and paint exposed surfaces of steel door and frame units. Clean steel surfaces of mill scale, rust, oil, grease, dirt and other foreign materials before application of paint. Apply shop coat of prime paint of even consistency to provide a uniformly

PART 3 - EXECUTION

Comply with provisions of SDI-105 "Recommended Erection Instructions For Steel Frames", unless otherwise indicated. Except for frames located at in-place installations, place frames prior to construction of enclosing walls and ceilings. Set frames accurately in position, plumbed, aligned, and braced securely until permanent anchors are set. After wall construction is completed, remove temporary braces and spreaders leaving surfaces smooth and indamaged. In metal stud partitions, install at least 3 wall anchors per jamb at hinge and strike levels. Attach wall anchors to studs with tapping screws. Spout grout frames at all wall anchors. Immediately after erection, sand smooth any rusted or damaged reas of prime coot and apply touch—up of compatible air—drying

SECTION 08210 -WOOD DOORS

PART 1 -GENERAL

NWMA Quality Marking: Mark each wood door with NWMA. Wood Flush Door certification Hallmark certifying

omp#??ó#??Ú# ?Ü#??Ü#?#??ó#??Ú# ?Ü#??Ü#?liance with applicable requirements of ANSI/NWMAI.S. 1 Series. Fo#??Ó#??Ú# ?Ü#??Ü#?r manufacturers not participating in NWMA Hallmark Program, a certification of compliance may be submitted for marking of individual doors.

Fire—rated Wood Doors: Where scheduled, provide wood doors with ire resistance ratings indicated or required to comply with governing regulations and which ore identical in materials and type of construction to those used in assemblies which have been tested in compliance with ASTM E 152 and are labeled and listed by a testing and inspection organization acceptable to authority having

Specific Product Warranty: Provide written agreement in door manufacturer's standard form signed by Manufacturer, Installer and Contractor, agreeing to repair or replace defective doors which have warped (bow, cup or twist) or which show telegraphing of core construction below in face veneers, or do not conform to tolerance imitations of NWMA and AWI. Warranty shall be in effect for one year from date of substantial completion. Comply with the applicable requirements of the following standards unless otherwise indicated:

-AWI Quality Standard: Comply with "Architectural Woodwork Quality Standards" including Section 1400 "Stile and Rail Doors" of rchitectural Woodwork Institute (AWI).

-Safety Glazing Standard: Provide safety glass of type indicated or required by authorities having jurisdiction for doors and sidelights, comply with ANSI Z97.1 and testing requirements of 16 CFR Part 1201 for Category II materials except where those of Category I are expressly indicated and permitted.

-ANSI/NWAI.S 1 "Industry Standard for Wood Flush Doors" published y National Woodwork Manufacturers Association (NWMA).

-AWI Quality Standard: Section 1300 "Architectural Flush Doors" of "Architectural Woodwork Quality Standards." shown or scheduled and as further specified. Provide same exposed surfaces material on both faces of each door, unless otherwise indicated.

-Faces: Any closed-grain hardwood of mill option. -Grade: Custom. -Core Construction: PC-5 (Particle board core).

Solid Core Doors for Opaque (Paint) Finish:

Solid Core Doors for Transparent Finish:

-Core Construction: SLC-5 Glued block core.

oversized top rail for closer attachment.

-Faces: Natural Hardwood, single piece face. Species and cut as -Grade: Premium.

Stile and Rail Doors: -Faces: Natural Hardwood, solid wood. Species as scheduled -Grade: Premium -Panels: Tempered glass as scheduled or indicated.

Fire-Rated Solid Core Doors: -Faces and AWI Grade: Provide faces and grade to match non-rated doors in some area of building, unless otherwise

-Core Construction: Manufacturer's standard core construction as required to provide fire—resistance rating indicated and with

-Edge Construction: Provide manufacturer's standard laminated edae construction for improved screw-holding capability and split resistance over edges composed for a single layer of treated

Shop Prime for Paint Finish: Prime exposed portion of wood doors shown or scheduled for paint finish with one coat of wood primer specified in Division-9 -"Painting", section of these specifications.

Shop Prime for Transparent Finish: Shop seal faces and edges of doors for transparent finish with stain (if required) and first coat of finish specified in Division 9 -"Painting" section of these specifications.

Hardware Preparations: Comply with tolerance requirements of AWI for prefitting. Machine doors for hardware requiring cutting of doors. Comply with final hardware schedules and door frame shop drawing with hardware templates and other essential information required to ensure proper fit of doors and hardware.

PART 3 -EXECUTION

Condition doors to average prevailing humidity in installation area prior to hanging. Install wood doors in accordance with manufacturer's instructions and as shown. Install fire—rated doors in corresponding fire-rated frames in accordance with requirements of NFPA No.80. Align doors to frame for proper fit and uniform clearance at each edge and machine for hardware. Seal cut

Bevel non-fire rated doors 1/8" in 2" at lock and hinge edges. Provide clearances of 1/8" at jambs and heads, 1/6" at meeting stiles for pairs of doors and 1/2" from bottom of door to top of decorative floor finish, unless otherwise noted. Where threshold is shown or scheduled, provide 1/4" clearance from bottom of door to top of threshold, unless otherwise noted.

surfaces immediately after fitting and machining.

Bevel fire—rated doors 1/8" in 2" at lock edge. Rehang or replace doors which do not swing or operate freely, as directed by Architect. Protect wood doors from damage or deterioration until acceptance of work.

SECTION 08304 - ACCESS DOORS

PART 1 - GENERAL

Size Variations: Obtain Architect's acceptance of manufacturer's standard size units which may vary slightly from sizes indicated.

PART 2 -PRODUCTS

Access doors shall be Flush Type Model KDW made by Karp Sizes as shown on drawings.

PART 3 - EXECUTION

Comply with manufacturer's instructions for installation of access doors and hatches. Coordinate installation with work of other Sections. Set frames accurately in position and securely attach to supports with face panels plumb or level in relation to adjacent finish surfaces. Adjust hardware and panels after installation for proper operation. Remove and replace panels or frame which are warped, bowed or otherwised damaged.

SECTION 08710 - FINISH HARDWARE

PART 1 - GENERAL

Provide materials, assemblies, equipment and services from a single source for each category except that locksets, latch sets and cyl#??Ó#??Ú# ?Ü#??Ü#?inders must originate from the same manufacturer. Provide hardware for fire—rated openings in compliance with NBFU Pamphlet No.80 and NFPA Standard No.80. This requirement takes precedence over other requirements for such hardware which has been tested and listed UL for the types and sizes of doors required, and complies with the requirements of the door and frame labels. The required hardware items for doors are indicated in hardware sets shown. Should any opening be omitted, hardware shall be provided as specified for other doors of similar location, function, quality and design. This contractor shall guarantee all hardware furnished under this Contract for a period of one year from the date of installation and shall agree to replace at his own expense any item or items of hardware that will in anyway be defective, not due to ordinary usage.

PART 2 -PRODUCTS

BHMA Standards (All items shall conform with these standards)

Butt and Hinges: ANSI A156.1 (BHMA 101)

Lock and Lock Trim: ANSI A156.2 (BHMA 601)

Door Controls —Closers: ANSI A156.4 (BHMA 301)

Template Hinge Dimensions: ANSI A156.7 (BHMA 111)

Auxiliary Hardware: ANSI A156.16 (BHMA 1201 Mortise Locks)

Latches: ANSI A 156.13 (BHMA 621)

operation of the door swing shown.

Materials and Finishes: ANSI A156.18 (BHMA 1301)

Self-closing Hinges & Pivots: ANSI A156.17 (BHMA 1101)

Screws, bolts and other fastenings shall match the respective hardware items in material, color, texture, and finish. Hand of Door: The Drawings show the swing or hand of each door

leaf. Furnish each item of hardware for proper installation and

Sliding and Folding Door Hardware: ANSI A156.14 (BHMA 401)

Steel Framing Components for Suspended and Furred Ceilings: General: Provide components which comply with ASTM C 754 for materials and sizes, unless otherwise indicated.

PART 3 -EXECUTION

Furnish hardware templates to each fabricator of doors, frames and other work to be factory prepared for the installation of

Packaging and Marking: AWI hardware shall be shipped with proper fastenings for secure application. Each package of hardware shall be legibly marked indicating the part of the work for which it is intended. Markings shall correspond with the item numbers shown on the approved hardware schedule. Keys shall be tagged within each package set and plainly marked on the face of the envelope with the key control number, door designation and all identification as necessary. Mount hardware units at height recommended in "Recommendations for Builders Hardware" by BHMA, unless otherwise noted or directed by the Architect. Install each hardware item in compliance with the manufacturer's instructions and recommendations. Wherever cutting and fitting is required to install hardware onto or into surfaces which are later to be painted or finished in another way, coordinate removal, storage and reinstallation or application of surface protections with finishing work specified in the Division-9 sections. Do not install surface-mounted items until finishes have been completed on the substrate. Set units level, plumb and true to line and location. Adjust and reinforce the attachment substrate as necessary for proper installation and operation. Adjust and check each operating item of hardware and each door to ensure proper operation or function of every unit. Lubricate moving parts with type lubrication recommended by manufacturer. Replace units which cannot be

SECTION 08800-GLASS AND GLAZING

Pre-Installation: Meet with Glazier and other trades affected by glass installation prior to beginning of installation. Do not perform work under adverse weather or job conditions. Install liquid sealants when temperatures are within lower or middle third of temperature range recommended by manufacturer.

PART 2 -PRODUCTS

Prime Glass Standard: Conform to FS DD-G-451 Safety Glass Standard: Conform to CPSC 16 CFR 1201

Prime Glass Manufacturer:

One of the following for each type of glass, or equal:

-Guardian Industries -Ford Glass Company -PPG Industries, Inc.

> Float/Plate Clear Glass: Type I, Quality q3, Class 1, clear unless otherwise noted.

> Float/Plate Tinted Glass: Type I, Quality q3, Class 2, tinted "Dark Gray", unless otherwise noted.

Tempered Glass: Provide prime glass of color and type indicated, which has been heat treated to strengthen glass in bending to not less than 4.5 times annealed strength. Locate labels in lower right corner of required panes.

-All doors and sidelights shall have tempered glass.

-Tong Marks: Provide tempered glass produced by manufacturer's special process which eliminates tong marks.

Setting Blocks: Neoprene or EPDM, 7-90 durometer hardness, with

proven compatibility with sealants used. Spacers: Neoprene or EPDM, 40-50 durometer with proven

PART 3 -EXECUTION

compatibility with sealants used.

Protect glass from edge damage during handling and installation, and subsequent operation of glazed components of the work. During installation, discard units with significant edge damage or other imperfection. Glazing channel dimensions as shown are intended to provide for necessary bite on glass, minimum edge clearance, and adequate sealant thicknesses, with reasonable tolerances. Adjust as required by job conditions at time of installation. Comply with combined recommendations and technical reports by manufacturers of glass and glazing products as used in each glazing channel, and with recommendations of #??Ó#??Ú# ?Ü#??Ü#?Flat Glass Marketing Association "Glazing Manual," except where more stringent requirements are indicated. Install setting blocks of proper size in sill rabbet, located 1/4th of glass width from each corner. Set blocks in thin course of heel—bead compound, if any. Provide spacers inside and out, of proper size and spacing, for glass sizes larger than 50 united inches, except where gaskets or preshimmed tapes are used for alazina. Provide 1/8" minimum bite of spacers on glass and use thickness equal to sealant width, except with sealant tape use thickness slightly less than final compressed thickness of tape. Set units of glass in each series with uniformity of pattern, draw, bow and similar characteristics. Remove and replace glass which is broken, chipped, cracked, abraded or damaged in other ways during construction period including natural causes, accidents and vandalism. Wash and polish glass on both faces not more than 4 days prior to date scheduled for inspections intended to establish date of substantial completion in each area of project. Comply with glass product manufacturer's recommendations for final cleaning.

SECTION 09250 - GYPSUM BOARD

PART 1 - GENERAL

Fire Resistance Ratings: Where indicated, provide materials and construction which are identical to those of assemblies whose fire resistance ratings has been determined per ASTM E 119 by a testing and inspecting organization acceptable to authorities having jurisdiction.

Single Source Responsibility: Obtain each type of gypsum board and related joint treatment materials from a single manufacturer.

PART 2 - PRODUCTS Steel Framing and Furring: Provide materials by one of the following or equal.

-Gold Bond Building Products Div., National Gypsum Co. -United States Gypsum Co.

the following or equal. -Gold Bond Building Products Div., National Gypsum Co.

-United States Gypsum Co.

Gypsum Boards and Related Products: Provide materials by one of

Concrete Anchors: Post installed anchors fabricated from corrosion—resistant materials with holes or loops for attachment of hanger wires and capability to sustain without failure, a load equal to 3 times that imposed by ceiling construction, as determined from testing per ASTM E 488, conducted by an independent testing

Wire for Ties: ASTM A 641, Class 1 zinc coating, soft temper.

Channels: Cold-rolled steel, 0.0598 inch minimum thickness of base (uncoated) metal and 7/16 inch wide flanges, protected with rust-inhibitive paint, and as follows: 2 inches deep, 590 lbs per 1000 ft., unless otherwise indicated.

Steel Rigid Furring Channels: ASTM\4 C 645, hat—shaped, depth of 7/8 inch, and minimum thickness of base (uncoated) metal as follows: 0.0283 inch (22 Gauge), unless otherwise indicated. Steel Framing For Walls and Partition:

Refer to the Steel Stud Manufacturers Association guidelines for stud identification numbering. Steel Stud and Runners: ASTM C 645, with flange edges of studs bent back 90 deg and doubled over to form 3/16" minimum lip

Thickness: 0.0283 inch (22 Gauge) unless otherwise indicated. -Depth: 2-1/2 inches unless otherwise indicated.

Steel Rigid Furring Channels: ASTM C 645, hat—shaped, depth and

(return) and complying with the following requirements for minimum

thickness of base (uncoated) metal and for depth.

minimum thickness of base (uncoated) metal as follows: -Thickness: 0.0283 inch (22 Gauge) unless otherwise indicated. -Depth: 7/8 inch.

Furring Brackets: Serrated—arm type, adjustable, fabricated from corrosion-resistant steel sheet complying with ASTM C 645. minimum thickness of base (uncoated) metal of 0.0312 inch. designed for screw attachment to steel studs and steel rigid furring channels used for furring.

Fasteners: Provide fasteners of type, material, size, corrosion resistance, holding power and other properties required to fasten steel framing and furring members securely to substrates involved, complying with the recommendations of gypsum drywall manufacturers for applications indicated.

Gypsum Board: Provide gypsum board of types indicated in maximum lenaths available to minimize end-to-end joints.

Gypsum Wallboard: Provide manufacturer's standard gypsum board in thicknesses indicated, or if not otherwise indicated, in either 1/2 or 5/8 inch thicknesses to comply with ASTM C 840 for application system and support spacing indicated and with tapered and featured (rounded or beveled) edges for prefilling.

Gypsum Wallboard Type X: (Where required for fire resistance rating.)

ASTM C36 with tapered and featured (rounded or beveled) edges for prefilling and 1/2 inch, unless otherwise indicated. Gypsum Backing Board for Multi-Layer Applications: ASTM C 442 or where backing board is not available from manufacturer, gypsum

wallboard, ASTM C 36, Type X. (Foiled-back where indicated) With

Manufacturer's standard edges and thickness of 1/2 inch, unless

otherwise indicated. Water-Resistant Gypsum Backing Board: ASTM C 630 and thickness of 1/2 inch, unless otherwise indicated.

Liner board: 1" thick USG or accepted equal gypsum board Shaft Wall Liner, 24" wide, lengths as required.

Trim Accessories: Cornerbead and Edge Trim for Gypsum Board

Interior Installation: Comply with ASTM C 840 formed metal Sheet steel, zinc-coated by hot-dip process. Cornerbead: USG No. 103 DUR-A-Bead or similar corner

Edge Trim: USG 200 series or similar casing trim.

reinforcement with 1-1/4" inch wings.

One-Piece Control Joint: Formed with vee-shaped slot, USG 1093 or Gypsum Board Joint Treatment Materials: General: Provide materials complying with ASTM

#??Ó#??Ú# ?Ü#??Ü#?C 475, ASTM C 840, and recommendations of manufacturer of both gypsum board and joint treatment materials for the application indicated.

Joint Tape: Paper reinforcing tape, unless otherwise indicated. Setting— Type Joint Compounds: Factory—prepackaged, job mixed,

chemical—hardening powder products formulated for uses indicated. Drying—Type Joint Compounds: Factory—prepackaged vinyl—based

General: Provide auxiliary materials for gypsum drywall construction which comply with reference standards and the recommendations of

the manufacturer of the gypsum board. Spot Grout: ASTM C 475, setting-type joint compound of type

recommended for spot grouting hallow metal door frames. Gypsum Board Screw: ASTM C 1002.

products formulated for uses indicated.

Concealed Acoustical Sealant: Nondrying, nonhardening, non skinning, nonstaining, nonbleeding, gunable sealant, USG Acoustical Sealant or

ASTM E-84, UL-723, ASTM C-739, ASTM E-119, UL-263. Product code 10001-81632, 16.25" width, 3-1/2" thick. www.bondedlogic.com / 480.812.9114 Safing Insulation: preformed mineral fiber, semi-rigid felt, 4 pcf min

density (with fire rated foil facing), thickness required, conforming to

Wall Insulation: Ultra Touch Cotton Fiber Insulation. Complys with

Fed. Spec. HH-I-521E, type 1, Class A, HH-I-5588, Farm A. U.S. Gypsum, or accepted equal. Adhesives and mechanical attachments: as recommended by the insulation manufacturer and as approved by the substrate

manufacturers. Smoke—seal compound: U.S. Gypsum SMOKE SEAL or accepted equal.

Steel Framing Installation Standard: Install steel framing to comply with ASTM C 754 and with ASTM C 840 requirements that apply to framing installation. Install supplementary framing, blocking and bracing at terminations in the work and for support of fixtures, equipment services, heavy trim, grab bars, toilet accessories, furnishings, and similar construction to comply with details indicated and with recommendations of gypsum board manufacturer, or if none available, with "Gypsum Construction Handbook" published United States Gypsum Co. Install steel framing components for suspended ceilings so that cross furring members are level to within 1/8 inch in 12 feet as measured both lengthwise on each member

PART 3 - EXECUTION

and transversely between parallel members. Install each steel framing and furring member so that fastening surfaces do not vary more than 1/8 inch frame plane of faces of adjacent framing. Frame door openings to comply with details indicated, with GA-219 and with applicable published recommendations of gypsum board manufacturer. Attach vertical studs at jambs with screws either directly to frames or to jamb anchor clips on door frames; install runner track section (for cripple studs) at head and secure to jamb studs.

Gypsum Board Application and Finishing Standard: Install and finish gypsum board to comply with ASTM C 840.

Single—Layer Application: Install gypsum wallboard as follows: -On ceilings apply gypsum board prior to wall/partition board application to the greatest extent possible. -On partitions/walls apply gypsum board vertically (parallel to framing), unless otherwise indicated, and provide sheet lengths which will minimize end joints.

Wall Tile Base: Where drywall is base for thin-set marble tile and

similar rigid applied wall finishes, install gypsum backing board. -In "drv" areas install ayosum backing board or wallboard with tapered edges taped and finished to produce a flat surface. -At sink counters and similar "wet" areas, install water-resistant gypsum backing board to comply with ASTM C 840 and recommendations of gypsum board manufacturer. Isolate perimeter of non-load-bearing drywall partitions at structural abutments. Provide 1/4 inch to 1/2 inch space and trim edge with edge trim. Seal oints with acoustical sealant. Where sound—rated drywall construction is indicated, seal construction at perimeters, control and expansion joints, openings and penetrations with a continuous bead of acoustical sealant including a bead at both faces of partitions. Comply with ASTM C 919 and manufacturer's recommendations far location of edge trim, and close off sound-flanking paths around or through construction, including sealing of partitions above acoustical ceilings. Spot grout hollow metal door frames for solid core wood doors. hollow metal doors and doors over 32 inches wide. Apply spot grout at each jamb anchor dip just before inserting board into frame.

Installation of Drywall Trim Accessories: Where feasible, use the same fasteners to anchor trim accessory flanges as required to fasten gypsum board to the supports. Otherwise, fasten flanges to comply with manufacturer's recommendations. Install corner beads at external corners. Install metal edge trim whenever edge of gypsum board would otherwise be exposed or semi-exposed. Provide type with face flange to receive joint compound.

Drywall Finishing: Apply joint treatment at gypsum board joints (both directions) flanges of corner bead, edge trim, and control joints, penetrations, fastener heads, surface defects and elsewhere as required to prepare work for decoration. Finish interior gypsum wallboard by applying the following joint compounds in 3 coats (not including prefill of openings in base), and sand between coats and after last coat.

Embedding and First Coat: Setting-type Joint Compound.

Fill (Second) Coat: Setting-type Joint Compound. Finish (Third) Coat: Ready—mix drying—type all—purpose topping

Nater—resistant backing board base for Ceramic or Marble Tile: Finish joints between water-resistant backing with tape and setting type joint compound to comply with gypsum board manufacturer's

Partial Finishing: Omit third coat and sanding on concealed drywall construction which is indicated for drywall finishing to achieve fire—resistance rating, sound rating or to act as air or smoke barrier.

<u> Section 09510 — acoustical ceilings</u>

recommendations and installation standards.

PART 1 #??ó#??Ú# ?Ü#??Ü#?- GENERAL All work of this Section shall conform to the ASTM C-635 and C-636 specification standards and governing Building Codes, for the required loads to be carried by the suspended acoustical ceilings.

PART 2 - PRODUCTS

Acoustical panels: Class A flame spread rating (0—25 per ASTM E84): ratings as indicated for the following test standards: Size, color and pattern as a scheduled or selected by Architect.

Acoustical tiles: Class A flame spread rating (0—25 per ASTM E84): Size, color and pattern as scheduled or selected by Architect. Ceiling Suspensions: comply with ASTM C 635, as applicable to type of suspension system required for type of ceiling units indicated.

Coordinate with other work supported by or penetrating through

ceilings, including light fixtures, HVAC equipment, and fire-suppression system components. Exposed Grid System: Painted steel exposed grid system, type and color as scheduled or selected by Architect. With 1-1/2" intermediate or heavy duty main tees, 1" or 1-1/2" cross tees with offset ends, and locking tee ends. Baked enamel finish on all

exposed parts and edge moldings to match. Grid to be by one of the following or equal: -National Rollina Mills -Chicago Metal Carp.

Indirect—Hung Suspension System: Main and cross runners roll—formed from electrolytic zinc-coated cold-rolled steel sheet for Intermediate—Duty System with 1-1/2 inch carrying channels of hot-rolled or cold-rolled steel. Provide special cross runners or split-splines to accommodate removal of acoustical units for upward access where access required. Identify access tile with manufacturer's

standard unobtrusive markers for each access unit. Grid to be by one of the following or equal: -National Rolling Hills -Chicago Metal Corp. -Armstrong

Edge Moldings and Trim: Metal or extruded plastic of types and profiles indicated or, if not indicated, provide manufacturer's standard molding for edges and penetrations of ceiling that fits with type of edge detail and suspension system indicated.

PART 3 -EXECUTION

-USG

-Armstrong

The system shall be installed in strict accordance with the manufacturer's printed instruction as required to achieve the module shown on the reflected ceiling plans. Level entire suspension system to 1/8" in 12'-0". Install acoustical panels and tiles in coordination with suspension system, with edges concealed by support of suspension members. Scribe and cut panels to fit accurately at borders and at penetrations. Install hold down clips at lay-in panels weighing less than 1 lb. spaced as recommended by panel manufacturer. Use accessible type clips where required or shown. Clean exposed surfaces of acoustical ceilings, including trim, edge moldings and suspension members; comply with manufacturer's instructions for cleaning and touch—up of minor finish damage. Remove and replace work which cannot be successfully cleaned and

SECTION 09650 - RESILIENT FLOORING

Manufacturer: Provide each type of resilient flooring and accessories as produced by a single manufacturer, including recommended primers, adhesives, sealants, and leveling compounds.

Replacement Material: After completion of work, deliver to project site replacement materials from some manufactured lot as materials installed, and as follows: not less than one box for each 50 boxes or fraction thereof, for each type, size and color installed.

PART 2 -PRODUCT

relative humidity.

Manufacturer: Provide 12 inch by 12 inch tiles (or otherwise noted) and accessories from the following:

-Vinyl Composition tile: Allstate, Azrock, Armstrong -Conductive Vinyl Tile: Kentile, Armstrong

Conductive Vinvl Tile: SS-T-312B Type III, Size, color, and pattern as scheduled or selected by Architect, Asbestos—free and 1/8" gage, static generation less than 100 volts per AATCC-134 at 20 percent relative humidity, static delay of 5000 volts to 0 in less than .03 seconds per Federal Test Method 101B, Method 4946 at 15 percent

Vinyl composition tile: FS-SS-T-312 Type IV, size, color, and pattern

as scheduled or selected by Architect. Asbestos—free and 1/8" gage.

 $\label{eq:wall-Base: Provide base complying with FS SS-W40: Type II vinyl: Size} \label{eq:wall-Base: Provide base complying with FS SS-W40: Type II vinyl: Size} % \[\frac{1}{2} \left(\frac{1}{2}$ and color as scheduled or selected by Architect: 1/8" gage.

Resilient Edge Strip: 1/8" thick, homogenous vinyl composition, tapered or bullnose edge, color to match flooring, or as selected by Architect from standard colors available, not less that 1" wide.

Adhesives (Cements): Waterproof, stabilized type as recommended by

flooring manufacturer to suit material and substrate conditions. Concrete Slab Primer: Non-staining type as recommended by flooring manufacturer.

PART 3 — EXECUTION

Broom clean or vacuum surface to be covered and inspect subfloor. Start of flooring installation indicates acceptance of sub floor conditions and full responsibility for completed work. Perform bond and moisture tests on concrete slabs or fill to determine that concrete surfaces are sufficiently cured, dried and ready to receive flooring. Install flooring using methods in strict compliance with manufacturer's recommendations. Extend flooring into toe spaces, door reveals, and into closets and similar openings. Match tiles for color and pattern by using tile from cartons in same sequence as manufactured and packaged if so numbered. Cut tile neatly around all fixtures. Broken, cracked, chipped, or deformed tiles are not acceptable. Apply wall base to walls, columns, pilasters, casework and other permanent fixtures in rooms or areas where base is required. Install base in lengths as long as practicable, with preformed outside and inside corners. Tightly bond base to substrate, throughout length of each

Finishing: After completion of project and just prior to final inspection of work, thoroughly clean floors and accessories. Apply polish and buff, with type of polish, number of coats, and buffing procedures in compliance with flooring manufacturer's instructions.

piece, with continuous contact at horizontal and vertical surfaces.

adhesive. Install edging strips at edges of flooring which would

Place resilient edge strips tightly butted to flooring and secure with

otherwise be exposed. Remove any excess adhesive or other surface

blemishes, using neutral type cleaners as recommended by flooring

SECTION 09682 - CARPETING

Installer Qualifications: Firm with not less than 5 years of experience in installation of commercial carpeting of this type, quantity and installation methods similar to work of this section. 1 #??6#??Ú# ?Ü#??Ü#?

Tunnel Test: Test for surface burning characteristics, with ratings for flame spread, fuel contribution, and/or smoke density, ASTM E 84, UL 723, or NFPA No. 255: Class II, smoke development of 450 or less.

Flame—Smoke Resistance Standards: Provide materials complying with

-Floor radiant Panel Test: Test for burning under varying radiant

energy levels, ASTM E 648: Class II. -Pill Test: Test in accordance with DOC FF-1 (DOC 16 CFR, Part 1630): Pass. Static Resistance: Provide yarn or yarn blend as indicated in carpet construction, and include provisions to comply with static resistance ratings as indicated, either by selection of yarns known to be effective or by inclusion of small percentages of special anti-static varn known to be effective in achieving indicated static resistance. Where rating is not otherwise indicated, provide 3.5. KV resistance for 20% R.H. at 70F (21 C), AATCC 134. Deliver to project at least 5% overrun on calculated yardage. Provide required overrun exclusive of carpet needed for proper installation, waste and usable scraps. Provide special project

within the industry.

PART 2 -PRODUCTS

Carpet: As scheduled or selected by Architect. Carpet Edge Guard, Nonmetallic: Extruded or molded heavy—duty vinyl or rubber carpet edge guard with minimum 2" wide anchorage flange; colors selected by Architect from among standard colors available

warranty, signed by Contractor, Installer and Manufacturer (Carpet Mill),

agreeing to repair or replace defective materials and workmanship of

carpeting work during 2—year warranty period following substantial

lohnsonite or accepted equal.

recommended by carpet manufacturer which complies with flammability requirements for installed carpet and complies with EPA approval for indoor air quality. Seaming Cement: Hot—melt seaming adhesive or similar product recommended by carpet manufacturer, for taping seams and buttering

cut edges at backing to form secure seam and prevent pile loss at

nstallation Adhesive: Water-resistant, non-staining type as

Miscellaneous Materials: As recommended by manufacturers of carpet and other carpeting products; and selected by installer to meet project circumstance and requirements.

PART 3 – EXECUTION

Comply with manufacturers' instructions and recommendations for seam locations and direction and lay pile. At doors, center seams under doors, do not place seams in traffic direction at doorways. Extend carpet under open-bottomed obstructions and under removable flanges and furnishings, and into alcoves and closets of each space. Install carpet edge strips where edge of carpet is exposed, adhere to substrate, repair faults in seaming, trim and adjust carpeting at edges.

SECTION 09900 - PAINTING

PART 1 -GENERAL

"Paint" as used herein means all coating system materials, including primers, emulsions, enamels, stains, sealers and filler, and other applied materials whether used as prime, intermediate or finish coats.

Surfaces to be Painted: Except where natural finish of material is specifically noted as a surface not to be painted, paint exposed surfaces whether or not colors are designated in "schedules". Where items or surfaces are not specifically mentioned, paint the same as similar adjacent materials or areas. If color or finish is not designated, Architect will select these from standard colors or finishes available.

Surfaces not to be painted: Unless otherwise indicated, do not paint items with factory—finish or installer finish, metal finishes other than "USP", operating parts, labels or concealed surfaces.

Single Source Responsibility: Provide primers and other undercoat paint produced by the same manufacturer as finish coats. Use only thinners approved by point manufacturer, and use only within recommended limits.

PART 2 - PRODUCTS

Material Quality: Provide the manufacturer's best quality trade sale paint material of the various coating types specified. Paint material containers not displaying manufacturer's product identification will not be acceptable.

Acceptable Manufacturers: Except as noted, products listed below are those of Benjamin Moore and Co. Equal products of acceptable manufacturers may be used.

-Benjamin Moore and Co. (Moore). -Sherwin Williams

Latex—Based Interior White Primer: Latex—based primer coating used on interior gypsum drywall under a flat latex paint or an alkyd semi-gloss enamel.

Primer: Primer used to prime interior zinc—coated (galvanized) metal surfaces: Moore ironclad Galvanized Metal Latex Primer #155 Interior Enamel Undercoat: Ready—mixed enamel for use as an undercoat over wood and hardboard under an odorless alkyd

Moore: Moore's Latex Quick—Dry Prime Seal #201 Galvanized Metal

Enamel Underbody #217. Sprayed—on texture coating primer: Acrylic primer surfacer #202 by Polomyx or equal.

Latex—Based Interior Flat Paint: Ready—mixed, latex—based paint for

use as a flat finish over prime-coated gypsum drywall, ferrous metal,

semigloss enamel or full gloss alkyd enamel: Moore: Moore's Alkyd

and zinc-coated (galvanized) metal surfaces. Moore: Regal Wall Satin #215 Interior Semigloss Odorless Alkyd

Enamel: Low-odor, semi-gloss alkyd enamel for use over a primer

and undercoat on wood and hardboard and over a primer on gypsum drywall and metal. Moore: Moore Alkyd Enamel #207 Sprayed—on Texture Coating: A polychromatic seamless liquid vinyl

wallcovering by Polomyx or equal: low luster, texture tone—on—tone

PART 3 - EXECUTION Remove hardware and hardware accessories, plates, machined surfaces, lighting fixtures, and similar items in place that are not to be painted, or provide surface—applied protection prior to surface preparation and painting. Remove these items if necessary for complete painting of the items and adjacent surfaces. Following completion of painting operations in each space or area, have items

reinstalled by workers skilled in the trades involved. Clean and prepare surfaces to be painted in accordance with the manufacturer's instructions for each particular substrate condition.

Provide barrier coats over incompatible primers or remove and

suited for substrate and type of material being applied.

reprime. Notify Architect in writing of problems anticipated with

using the specified finish—coat material with substrates primed by

Apply paint in accordance with manufacturer's #??Ó#??Ú# ?Ü#??Ü#?directions. Use applicators and techniques best

Do not paint over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions detrimental to formation of a durable paint film. Paint colors, surface treatments, and finishes are indicated in

spreading rate. Provide a total dry film thickness of the entire system as recommended by the manufacturer . Gypsum Drywall: 2 coats (Not to receive sprayed on texture coating)

Provide finish coats that are compatible with primers used and apply

materials at not less than the manufacturer's recommended

Primer: Latex-Based Interior White Primer (FS TT-P-650)

Finish Coat: Latex—Based Interior Flat Paint (FSTT—P—29) Metal Doors and Frames: 3 coats with total dry film thickness not less than 2.5 mils. Primer: Shop prime.

TT-E-509) Doors to receive transparent finish: All finish color, tones shades, etc., shall be selected by Architect and finish work shall match approved samples in Architect's office under incandescent light,

daylight and warm white fluorescent light, i.e. actual job conditions.

-Comply with AWI specifications finish system #5 for catalyzed

First Coat: Interior Semigloss Odorless Alkyd Enamel (FS TT-P-509)

Second Coat: Interior Semigloss Odorless Alkyd Enamel (FS

polyurethane finish. Woodwork and Hardboard: 3 coats (Not to receive transparent finish). Undercoat Interior Enamel Undercoat (FS TT-E-543). First Coot: Interior Semigloss Odorless Alkyd Enamel (FS TT-E-509). Second Coat: Interior Semigloss Odorless Alkyd Enamel (FS

Sprayed—on texture coating: number of coats as scheduled or selected by Architect, minimum 2 coats.

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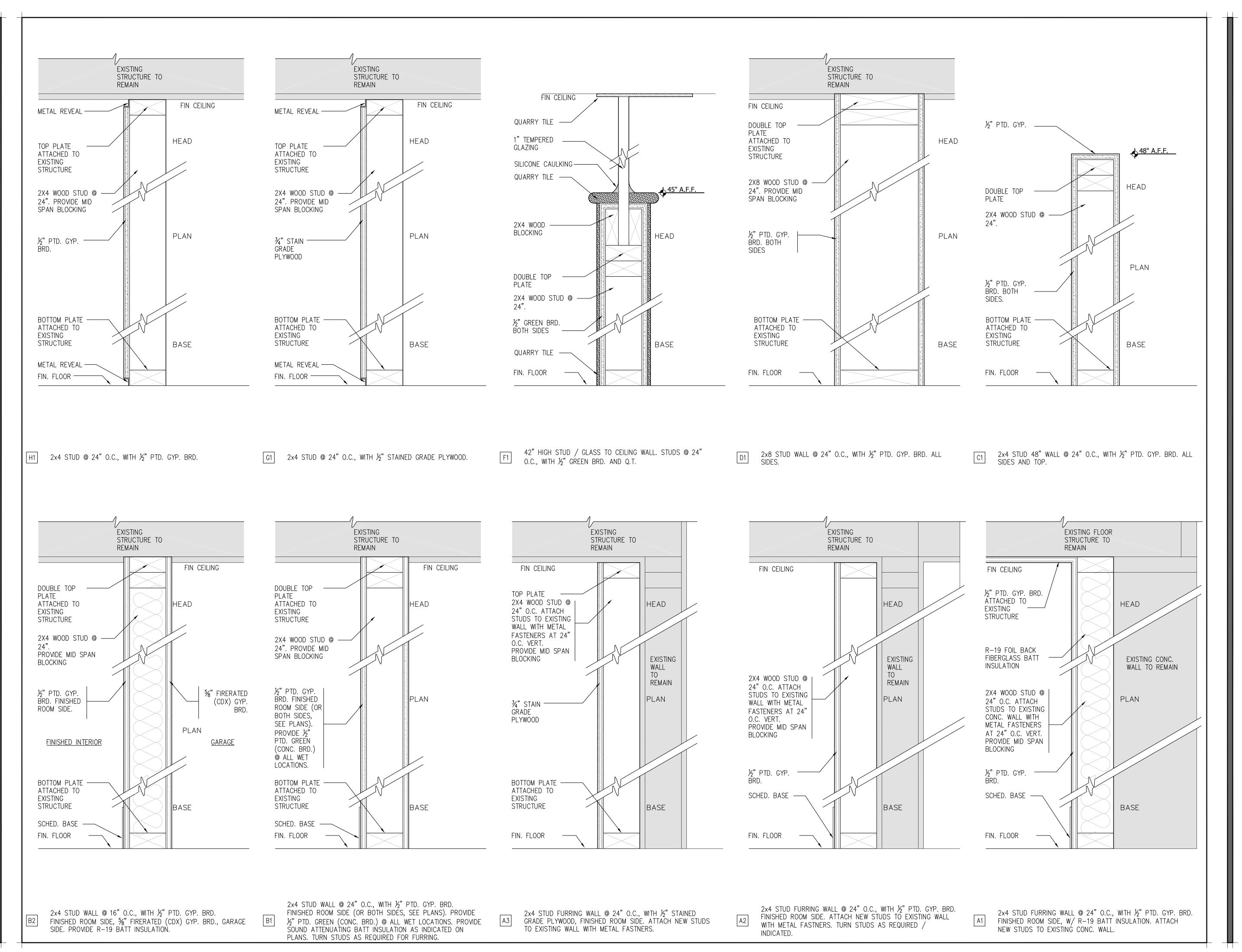
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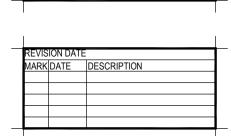
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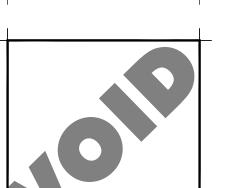


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CONSTRUCTION _ ш

ROO ROOM	M SCHEDULE				CEIL	.ING	
NO.	ROOM NAME	FLOOR	BASE	WALLS	HEIGHT	FINISH	NOTES
BASEMENT B - 001		_	_	_	8'-0" (V.I.F.)	_	
B - 002	OFFICE				8'-0" (V.I.F.)		
B - 003					8'-0" (V.I.F.) 8'-0" (V.I.F.)		
B - 004B					8'-0" (V.I.F.)		
B - 005					8'-0" (V.I.F.)		
	WALK-IN-CLOSET (W.I.C.) EXERCISE ROOM				8'-0" (V.I.F.) 8'-0" (V.I.F.)		
B - 007B	EXERCISE ROOM				8'-0" (V.I.F.)		
	MECHANICAL (MECH) ROOM MECHANICAL (MECH) ROOM				8'-0" (V.I.F.) 8'-0" (V.I.F.)		
B - 009					8'-0" (V.I.F.)		
FIRST FLO					_, _, .		
1 - 001 1 - 001A	ENTRY EXISTING COVERED PORCH	-	_	_	8'-0" (V.I.F.)	_	
	LIVING ROOM						
1 - 004	ENTRY WATER CLOSET (W.C.)						
1 - 006							
	BREAKFAST						
1 - 007A	EXISTING DECK KITCHEN						
1 - 009							
1 - 010	EXISTING GARAGE STAIR						
SECOND F 2 - 001A	1	_	_	_	8'-0" (V.I.F.)	_	
2 - 001B	HALL				\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		
2 - 002 2 - 002A	MASTER BEDROOM						
	MASTER BATH						
	BATHROOM						
2 - 005	LAUNDRY BEDROOM #1						
2 - 007	WALK-IN-CLOSET (W.I.C.)						
2 - 008	WALK-IN-CLOSET (W.I.C.)						

<u> </u> MAT	ERIAL SCH	EDULE							
MARK NO.	ITEM	MANUFACTURER	SPECIFICATIONS	REMARKS	MARK NO.	ITEM	MANUFACTURER	SPECIFICATIONS REMARKS	
EXG-1	EXISTING			EXISTING FINISH TO REMAIN. PATCH AND REPAIR TO MATCH, EXISTING, AS REQUIRED BY NEW WORK.	GT-2	GLASS TILE	T.B.D.	T.B.D.	
HWF-1	HARDWOOD FLOORING	T.B.D.	T&G SELECT CHERRY STRIP FLOORING	T&G SELECT CHERRY STRIP FLOORING ST-1 & (2) COATS SATIN FINISH POLYURETHANE	GT-3	GLASS TILE	T.B.D.	T.B.D.	
	FXISTING			PATCH FLOOR BY TOOTHING IN FLOORING TO MATCH AREAS AFFECTED BY DEMOLITION AND NEW	QT-1	QUARRY TILE	T.B.D.	T.B.D.	
HWF-2	EXISTING HARDWOOD FLOORING		REFINISH EXISTING HWF.	WORK. SAND, SCREEN, & REFINISH ENTIRE FLOOR WITH ST-1 & (2) COATS STAIN FINISH POLYURETHANE	QT-2	QUARRY TILE	T.B.D.	T.B.D.	
P-1	PAINT	DURON, OR EQUAL	DRY-LOK. 1 COAT PRIMAR & (2) FINISH COATS. COLOR T.B.D.		QT-3	QUARRY TILE	T.B.D.	T.B.D.	
PL-1	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.		QT-4	QUARRY TILE	T.B.D.	T.B.D.	
PL-2	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.		QT-5	QUARRY TILE	T.B.D.	T.B.D.	
PL-3	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.		QT-6	QUARRY TILE	T.B.D.	T.B.D.	
PL-4	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.		QT-7	QUARRY TILE	T.B.D.	T.B.D.	
PL-5	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.		PLM-1	LAMINATE	T.B.D.	COLOR: WHITE	
PL-6	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS		GR-1	GRANITE SURFACE	T.B.D.	T.B.D.	
PL-7	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS		GR-2	GRANITE SURFACE	T.B.D.	T.B.D.	
PL-8	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS		GR-3	GRANITE SURFACE	T.B.D.	T.B.D.	
PL-9	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS						
PL-10	LATEX FINISH PAINT	DURON, OR EQUAL	SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR						
PL-11	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS						
PL-12	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS						
PL-13	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS						
PL-14	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS						
PL-15	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS						
P0-1	OLIALKYD SEMI GLOSS FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS						
CPT-1	CARPET	T.B.D.	T.B.D.						
CPT-2	CARPET	T.B.D.	T.B.D.						
CPT-3	CARPET	T.B.D.	T.B.D.						
VCT-1	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
VCT-2	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
VCT-3	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
VCT-4	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
ST-1	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: NATURAL MANF ID: 209						
ST-2	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: GOLDEN OAK MANF ID: 210B						
ST-3	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: EBONY MANF ID: 2718						
ST-4	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: RED OAK MANF ID: 215						
PLY-1	STAIIN GRADE PLYWOOD	T.B.D.	SPECIES: MAPLE						
PLY-2	STAIIN GRADE PLYWOOD	T.B.D.	SPECIES: BEECH						
PLY-3	STAIIN GRADE PLYWOOD	T.B.D.	SPECIES: OAK						
HRWD-1	STAIIN GRADE HARDWOOD	T.B.D.	SPECIES: MAPLE						
T-1	WOOD TRIM	T.B.D.	MATCH EXISTING						
WB-1	WOOD BASE TRIM	T.B.D.	MATCH EXISTING						
CT-1	CERAMIC TILE	T.B.D.	T.B.D.						
CT-2	CERAMIC TILE	T.B.D.	T.B.D.						
CT-3	CERAMIC TILE	T.B.D.	T.B.D.						
GT-1	GLASS TILE	T.B.D.	T.B.D.						
GT-1	GLASS TILE	T.B.D.	T.B.D.						



BOWMAN-JACKSON RESIDENCE

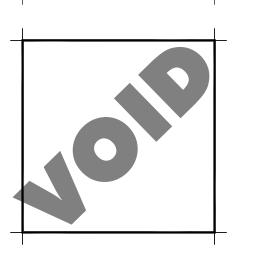
TOTAL ON HEAD THE TOWN RHARCHTECT COM: RICH MRCHITECT COM

FOR

ROOM AND MATERIAL SCHEDULES

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DATE DESCRIPTION
08.23.2010 CLIENT SUBMISSION
09.30.2010 100% CD / BID SUBMISSION



Ю.	OOR SCHEDU		SIZE	TUICY	TYPE	INT.	EXT.	HARDWARE	FRAME	TRIM	LABEL/	ACCESS.	KEYNOTES
BASE	MENT	WIDTH	HEIGHT	THICK.		FIN.	FIN.				RATING		
1	HALL (B-004B)	3'-6"	6'-8"	1-3/8"	A	_	_	_	E-1	_	_	-	
	HALL (B-004B) HALL (B-004B)	2'-8"	7'-0" 7'-0"	3/4" 3/4"	B B				D-1 D-1				
	HALL (B-004B)	3'-4"	7'-0"	3/4"	В				D-1				
	HALL (B-004B)	2'-8"	7'-0"	3/4"	В				D-1				
6	HALL (B-004B)	3'-4"	7'-0"	3/4"	В				D-1				
_													
	FLOOR	-,	03 -"	A = /="									
	ENTRY (1-001) ENTRY (1-001)	3'-0" 2'-8"	6'-8" 7'-0"	1-3/8" 3/4"	C B	_	_	_	A-1 D-1	_	_	_	
	BREAKFAST (1-007)	3'-2"	7'-0"	3/4"	В				D-1				
4	BREAKFAST (1-007)	2'-8"	6'-8"	3/4"	D				A-1				
5	ENTRY (1-004)	3'-0"	6'-8"	1-3/8"	E				A-1		20 MIN		
		_				_							
SECT	ND FLOOP												
	ND FLOOR MASTER BEDROOM (2-002)	2'-6"	6'-8"	1-3/8"	F	_	_	_	A-1	_	_	_	
	MASTER BEDROOM (2-002)	2'-0"	6'-8"	1-3/8"	F				A-1				
8	HALL (2-001A)	2'-0"	6'-8"	1-3/8"	F				A-1				
	HALL (2-001A)	2'-8" 3'-0"	6'-8" 6'-8"	1-3/8"	F				A-1				
10	MASTER BEDROOM (2-002)	3-0	0-8	1-3/8"	F				A-1				
				1	1		1	1	1	1	i	I	i .

DOOR TYPES			
A - HC BI-FOLD WOOD DOOR MANUF: T.B.D. SERIES: T.B.D. MODEL: T.B.D. NOTE:	B - STAIN GRADE PLYWOOD DOOR MANUF: T.B.D. SERIES: T.B.D. MODEL: T.B.D. NOTE:	C - ENTRY DOOR MANUF: ANDERSON SERIES: T.B.D. MODEL: T.B.D. NOTE:	D - FRENCH DOOR MANUF: ANDERSON SERIES: T.B.D. MODEL: T.B.D. NOTE:
E - FIRERATED 6 PANEL STEEL DOOM MANUF: T.B.D. SERIES: T.B.D. MODEL: T.B.D. NOTE: 20 MIN. FIRERATED	F - 6 PANEL HC WOOB DOOR MANUF: T.B.D. SERIES: T.B.D. MODEL: T.B.D. NOTE:		

WOOD JAMB BI-FOLD

DOOR FRAME TYPES

WOOD JAMB 3 HINGE SEE DOOR SCHED. FOR CASING

POCKET DOOR FRAME & TRACK

WOOD JAMB SLIDER

PTD. GYP. BRD. SURROUND @ BARN DOOR

	0	Ol	R I		RI F	DV	٧A	ARE
A	В	С	D	E	'			HARDWARE PER SINGLE DOOR OPENING
A	В	С	D	E	'			BUTT HINGES (3 PAIR)
	В	С		•	'			BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER
•	В	C			1			BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE
•		C						BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL
•	B	C		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY
•		C		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY
•	•	C		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY BUTT HINGES (6)
•		C		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY
•	•			•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY BUTT HINGES (6) POCKET DOOR LOCKSET
•	•	•		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY BUTT HINGES (6) POCKET DOOR LOCKSET BARN DOOR TRACK
•	•	•		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY BUTT HINGES (6) POCKET DOOR LOCKSET BARN DOOR TRACK
•	•	•		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY BUTT HINGES (6) POCKET DOOR LOCKSET BARN DOOR TRACK
•	•	•		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY BUTT HINGES (6) POCKET DOOR LOCKSET BARN DOOR TRACK
•	•	•		•				BUTT HINGES (3 PAIR) ENTRY LOCKSET PER DOOR MANUFACTURER PASSAGE SCHLAGE OR EQUAL PRIVACY SCHLAGE OR EQUAL POCKET DOOR FRAME AND TRACK JOHNSON OR EQUAL - #1500 HEAVY DUTY DEADBOLT W/ KEY BUTT HINGES (6) POCKET DOOR LOCKSET BARN DOOR TRACK

PLAN KEYNOTES



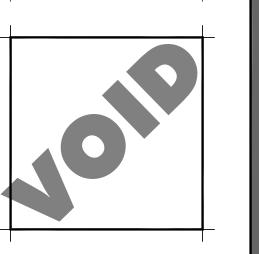
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BOWMAN-JACKSON RESIDENCE

DOOR / HARDWARE SCHEDULES
DOOR ELEVATIONS/FRAMES

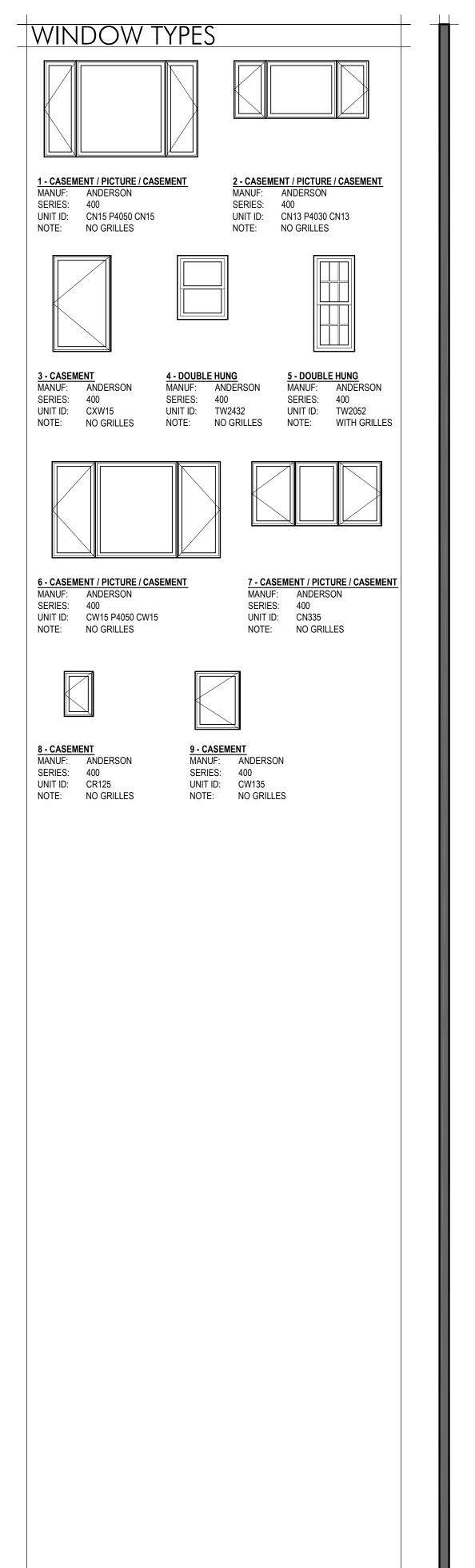
ISSUE DATE
DATE DESCRIPTION
08.23.2010 CLIENT SUBMISSION
09.30.2010 100% CD / BID SUBMISSION

REVISION DATE
MARK DATE DESCRIPTION



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WOOD INTERIOR FINISHED	SUBMIT MANUFACTURER CUT SHEETS, INSULATED (LOW-E) WINDOWS, WITH MANUFACTURER SERIES	I INSECT SCREEN ON OPERABLE UNIT	WINDOWS. PROVIDE FOLD D	TYPE	IDLE @ ALL OPERAL	BLE CASEMENTS. W SIZE (RO)	WINDOW	HFICHT	GLAZING	FIXED		FRAME	TRIM	INT.	EXT.	HARDWARE	NOTES
(ROOM NO.)	IMAINOI ACTORER SERIES	OIVII	STILL		WIDTH	HEIGHT	SILL	HEAD	GLAZING	FIXED OR OPERABLE	SCREEN ^{J,}			PRON FIN.	FIN.	FINISH	INOTES
MENT								1	1								
					_										_		
FLOOR			CASEMET DICTURE														
BREAKFAST (1- 007)	ANDERSON 400	C15 P4050 C15	CASEMET PICTURE COMBINATION CASEMET PICTURE COMBINATION	1	8'-0 1/2"	4'-11 7/8"	1'-8"	6'-8"	1" INSULATED LOW 'E'			N –	-	- ST-1	WHITE	T.B.D.	
AITCHEN (1- 008) PANTRY (1- 009)	ANDERSON 400 ANDERSON 400	CN13 P4030 CN13 CXW15	COMBINATION CASEMENT	3	7'-5 1/4" 3'-0 1/2"	2'-11 15/16" 5'-0 3/8"	2'-8"	6'-8"	1" INSULATED LOW 'E' 1" INSULATED LOW 'E'			N –		- ST-1 - ST-1	WHITE	T.B.D.	
NTRY (1- 004)	ANDERSON 400	TW2432	DOUBLE HUNG	4	2'-6 1/8"	3'-4 7/8"	3'-4"	6'-8"	1" INSULATED LOW 'E'			N –	_	- ST-1	WHITE	T.B.D.	
NTRY (1- 001)	ANDERSON 400	TW2052	DOUBLE HUNG	5	2'-1 5/8"	5'-4 7/8"	2'-8"	6'-8"	1" INSULATED LOW 'E'			N –	_	- ST-1	WHITE	T.B.D.	
ND FLOOR																	
BEDROOM #1 (2- 006)	ANDERSON 400	CW155 P4050 CW155	CASEMET PICTURE COMBINATION	6	8'-9"	5'-4 13/16"	1'-4"	6'-8"	1" INSULATED LOW 'E'			N –	_	- ST-1	WHITE	T.B.D.	
BEDROOM #1 (2- 006)	ANDERSON 400	CW155 P4050 CW155	CASEMET PICTURE COMBINATION CASEMET PICTURE COMBINATION CASEMET PICTURE COMBINATION	6	8'-9"	5'-4 13/16"	1'-4"	6'-8"	1" INSULATED LOW 'E'			N –	_	- ST-1	WHITE	T.B.D.	
AUNDRY (2- 005)	ANDERSON 400 ANDERSON 400	CN335		7	5'-1 1/2"	3'-4 3/8"	3'-4" 4'-4"	6'-8"	1" INSULATED LOW 'E'			N –		- ST-1 - ST-1	WHITE	T.B.D.	LIMIT MUST BE TEMPESE
BATH (2- 004) BATH (2- 004)	ANDERSON 400 ANDERSON 400	CR125 CW135	CASEMENT CASEMENT	8	1'-5 1/2" 2'-4 7/8"	2'-4 7/8" 3'-0 1/2"	3'-8"	6'-8"	1" INSULATED LOW 'E' 1" INSULATED LOW 'E'			N –		- ST-1 - ST-1	WHITE	T.B.D.	UNIT MUST BE TEMPERED
MASTER BATH (2- 003)	ANDERSON 400	CW135	CASEMENT	9	2'-4 7/8"	3'-0 1/2"	3'-8"	6'-8"	1" INSULATED LOW 'E'			N –	_	- ST-1	WHITE	T.B.D.	
					•	,											
																	1



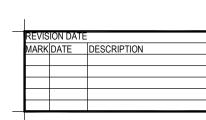


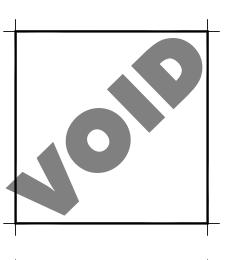


BOWMAN-JACKSON RESIDENCE

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WINDOW SCHEDUL





CA	BINET SC	CHEDULE										
		MANUFACTURER ID	ТҮРЕ	STYLE	W	D H WOOD SPECIE	ES DOOR SHAF	PE WOOD FINISH	HARDWARE	HARDWARE MANI	JF. H. MANUF. ID	HARDWARE FINISH NOTES
	(RAFTMAID		BASE W/ DBL DOOR W/ FULL TRAY	FULL OVERLAY		24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB			ALUMINUM
BC-2 K	(RAFTMAID	B_*FH2412	BASE W/ DBL DOOR	FULL OVERLAY		12" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-3 k	(RAFTMAID	B_*FH3012	BASE W/ DBL DOOR	FULL OVERLAY		12" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-4 K	(RAFTMAID	B_*2FWT2124	BASE DBL DOOR W/ 2 FULL TRAY	FULL OVERLAY		24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-5 k	(RAFTMAID	BPP924	BASE PANTRY PULLOUT	FULL OVERLAY		24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-6 K	(RAFTMAID	B924	BASE SINGLE DOOR W/ TRAY DIVIDER	FULL OVERLAY	9"	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-7 k	(RAFTMAID	B_*FH1812	BASE SINGLE DOOR	FULL OVERLAY	18"	12" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-8 k	(RAFTMAID	B_*4T3924	BASE DBL DOOR W/ 4 TRAYS	FULL OVERLAY	39"	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-9 k	(RAFTMAID	SBCC3627	SINK BASE W/ CLIPPED CORNERS	FULL OVERLAY	36"	27" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-10 K	(RAFTMAID	BWBT_*2*FH	TOP MOUNT WASTEBASKET FULL HGT.	FULL OVERLAY	15"	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-11 K	(RAFTMAID	BD_*3	BASE W/ 3 DRAWERS	FULL OVERLAY	12"	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-12 K	(RAFTMAID	BMC2724	BASE MIRCOWAVE W/ DRAWER	FULL OVERLAY	27"	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-13 k	(RAFTMAID	DB1224	BASE W/ 4 DRAWERS	FULL OVERLAY	12"	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-14 k	(RAFTMAID	SB2424	VANITY SINK BASE	FULL OVERLAY	24"	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-15 K	(RAFTMAID	B_*FWT3624	BASE W/ DOUBLE DOOR / FULL TRAY	FULL OVERLAY	36	24" 34-1/2" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-1 k	(RAFTMAID	MSP242496	TALL PANTRY	FULL OVERLAY	24"	24" 96" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-2 k	(RAFTMAID	UC302496	UTILITY PANTRY	FULL OVERLAY	24"	24" 96" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-3 k	(RAFTMAID	PS242496	TALL PANTRY	FULL OVERLAY	24"	24" 96" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-4 k	(RAFTMAID	UC361296	UTILITY PANTRY	FULL OVERLAY	36"	12" 96" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-5 k	(RAFTMAID	UC241284	UTILITY PANTRY	FULL OVERLAY	24"	12" 84" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
RC-1 k	(RAFTMAID	RTC392496	REFRIGERATOR PANTRY	FULL OVERLAY	39"	24" 96" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-1 k	(RAFTMAID	w	WALL CABINET W/ 2 DOORS	FULL OVERLAY	30"	12" 42" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-2 k	(RAFTMAID	w	WALL CABINET W/ 2 DOORS	FULL OVERLAY	24"	12" 42" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-3 k	(RAFTMAID	w	WALL CABINET	FULL OVERLAY	15"	12" 42" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-4 k	(RAFTMAID	w	WALL CABINET	FULL OVERLAY	24"	12" 18" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-5 K	(RAFTMAID	w	WALL CABINET	FULL OVERLAY	15"	12" 18" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-6 k	(RAFTMAID	w	WALL CABINET	FULL OVERLAY	30"	12" 36" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-7 K	(RAFTMAID	w	WALL CABINET	FULL OVERLAY	36"	12" 36" MAPLE	AVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
					<u> </u>							
F ~			_							_ <u> </u>		
<u> </u> EQ	<u>uipmen i</u>	T SCHEDUL	<u>.</u>							_ PLUM	bing sch	EDULE
	LOCATION (RM N		MANUFACTURER TYPE	MANUF. ID	SUPPLIE	ed by Installed by Notes					TION (RM NO.) ITE	
1 0	OFFICE (B-002)	T.V.	T.B.D. T.B.D.	T.B.D.	OWNER	CONTRACTOR WALL MO	OUNTED @ 5'-0" /	4.F.F.		P1 KITCHE	N (1-008) DOU	JBLE SINK AMERICAN STANDARD CULINAIRE 33" 7502.000 Undercounter Mount

EG	QUIPMENT S	CHEDUL	<u>.</u> E					
NO.	LOCATION (RM NO.)	ITEM	MANUFACTURER	TYPE	MANUF. ID	SUPPLIED BY	INSTALLED BY	NOTES
1	OFFICE (B-002)	T.V.	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	WALL MOUNTED @ 5'-0" A.F.F.
2	OFFICE (B-002)	T.V. WALL MOUNT	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	CORRDINATE LOCATION W/ OWNER
3	OFFICE (B-002)	PRINTER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
4	OFFICE (B-002)	COPIER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
5	MECH ROOM (B-008A)	EXISTING FURN	_	_	_	_	_	-
6	MECH ROOM (B-008B)	EXISTING H.W.H.	_	_	_	_	_	-
7	MECH ROOM (B-008B)	EX'G WATER FILTER	_	_	_	_	_	_
8	OFFICE (B-002)	CABLE T.V. RECIEVER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	_
9	EXERISE ROOM (B-007B)	T.V.	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	WALL MOUNTED @ 6'-0" A.F.F.
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	CORRDINATE LOCATION W/ OWNER
11	OFFICE (B-002)	CABLE T.V. RECIEVER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
12	FAMILY ROOM (1-003)	GAS FIREPLACE	REGENCY	SUNRISE	P33	OWNER	CONTRACTOR	Regency P33 Sunrise Bronze
13	FAMILY ROOM (1-003)	T.V.	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	WALL MOUNTED @ 5'-0" A.F.F.
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	CORRDINATE LOCATION W/ OWNER
15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	_
16	ENTRY (1-001)	DOOR BUZZER	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	_
17	KITCHEN (1-008)	MICROWAVE	GE	PROFILE	PSB1201NSS	OWNER	CONTRACTOR	Advantium? 120V — 30 in. Wall Oven
18	KITCHEN (1-008)	COOKTOP / OVEN	GE	PROFILE	PGB918SEMSS	OWNER	CONTRACTOR	30" Free-Standing Double Oven Range
19	KITCHEN (1-008)	DISHWASHER	GE	PROFILE	PDWT180RSS	OWNER	CONTRACTOR	Interior Built—In Dishwasher with Hidden Controls
20	KITCHEN (1-008)	REFRIGERATOR	GE	PROFILE	PFSS9KYSS	OWNER	CONTRACTOR	ENERGY STAR? 28.5 Cu. Ft. French—Door Refrigerator
21	EX'G GARAGE (1-010)	REFRIGERATOR	EXISTING			OWNER	CONTRACTOR	RELOCATED
22	KITCHEN (1-008)	RANGE HOOD	GE	PROFILE	PV970NSS	OWNER	CONTRACTOR	30" Wall—Mount Hood
23	KITCHEN (1-008)	DISPOSAL	T.B.D.	T.B.D.	T.B.D.	CONTRACTOR	CONTRACTOR	_
24	LAUNDRY (2-005)	WASHER	EXISTING	_	_	OWNER	CONTRACTOR	RELOCATED FROM BASEMENT
25	LAUNDRY (2-005)	DRYER	EXISTING	_	_	OWNER	CONTRACTOR	RELOCATED FROM BASEMENT
26	MASTER BATH (2-003)	HAIRDRYER	T.B.D.	_	_	OWNER	OWNER	_

PII	JMBING SC	`HFDIIIF				
	LOCATION (RM NO.)		MANUFACTURER	TYPF	MANUF. ID	NOTES
	, ,	DOUBLE SINK	AMERICAN STANDARD			Undercounter Mount
	· · · ·	PULLDAOWN FAUCET	AMERICAN STANDARD	PEKOE	4332.300	Pull Down Faucet
Р3	MASTER BATH (2-003)	SINK	AMERICAN STANDARD	Boulevard	0610.000	COLOR - BLACK; PROVIDE MOUNTING KIT.
P4	MASTER BATH (2-003)	FAUCET	AMERICAN STANDARD	GREEN TEA	7010.801	Widespread Lavatory with Pull-Out Spout; STAINLESS STEEL FINISH
P5	BATH (2-004)	SINK	AMERICAN STANDARD	Boulevard	0610.000	COLOR - BLACK; PROVIDE MOUNTING KIT.
P6	BATH (2-004)	FAUCET	AMERICAN STANDARD	GREEN TEA	7010.801	Widespread Lavatory with Pull-Out Spout; STAINLESS STEEL FINISH
P7	MASTER BATH (2-003)	CENTRAL THERMOSTAT	AMERICAN STANDARD	GREEN TEA	T010.730	SHOWER CONTROLLER; STAINLESS STEEL FINISH
P8	MASTER BATH (2-003)	SHOWERHEAD	AMERICAN STANDARD	_	1660.651	MULTIFUNCTIONAL RAIN SHOWERHEAD; THREE FUNCTION; STAINLESS STEEL
P9	BATH (2-004)	CENTRAL THERMOSTAT	AMERICAN STANDARD	GREEN TEA	T010.730	SHOWER CONTROLLER; STAINLESS STEEL FINISH
P10	BATH (2-004)	SHOWERHEAD	AMERICAN STANDARD	_	1660.651	MULTIFUNCTIONAL RAIN SHOWERHEAD; THREE FUNCTION; STAINLESS STEEL
P11	LAUNDRY (2-005)	RELOCATED UTILITY SINK	_	_	_	RELOCATED FROM BASEMENT
P12	MASTER BATH (2-003)	RELOCATED TOILET	_	_	_	RELOCATED FROM MASTER BATH. REPLACE FLUSH VALUE, FLOAT & GASKETS. CLEAN TO LIKE NEW CONDITION.
P13	BATH (2-003)	RELOCATED TOILET	_	_	_	RELOCATED FROM BATH. REPLACE FLUSH VALUE, FLOAT & GASKETS. CLEAN TO LIKE NEW CONDITION.



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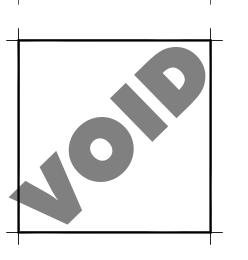
CABINET / EQUIPMENT
PLUMBING SCHEDULES

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Plan keynotes

201 EXISTING CONSTRUCTION TO REMAIN

CAREFULLY REMOVE SECTION OF EXISTING BEARING WALL, AS INDICATED, PROVIDE

TEMP BRACING / SUPPORT AS REQUIRED BY NEW WORK. 203 REMOVE SECTION OF EXISTING NON-BEARING WALL AS INDICATED.

204 CAREFULLY REMOVE EXISTING DOOR / WINDOW / FRAME. STORE / DISPOSE OF AS

205 EXISTING DOOR / WINDOW UNIT TO REMAIN.

206 EXISTING BULKHEAD TO REMAIN.

207 EXISTING RETURN AIR GRILLE TO REMAIN.

208 EXISTING ATTIC ACCESS TO REMAIN.

209 REMOVE EXISTING FLOOR MATERIAL, PREPARE SUBFLOOR TO RECEIVE NEW FLOORING MATERIAL.

210 REMOVE EXISTING LIGHTING FIXTURE, STORE / DISPOSE OF AS DIRECTED BY OWNER.

211 REMOVE EXISTING LIGHTING FIXTURE, RELOCATE AS INDICATED ON RCP

212 REMOVE EXISTING ELECTRICAL ITEM.

213 REMOVE SECTION OF EXISTING STAIR HANDRAIL / GUARDRAIL, STAIR TREAD EDGE. COORDINATE WITH NEW STAIR WORK.

REMOVE EXISTING WASHER / DRYER / UTILITY SINK, RELOCATE TO NEW SECOND FLOOR LAUNDRY ROOM. REMOVE / CAP ALL UN-USED PLUMBING LINES.

215 CAREFULLY REMOVE EXISTING FIREPLACE / STOVE / HEARTH.

216 EXISTING PLUMBING FIXTURE TO REMAIN.

217 EXISTING HVAC SYSTEM TO REMAIN.

218 EXISTING HWH / WATER FILTER / SOFTENER SYSTEMS, TO REMAIN.

219 EXISTING APPLIANCE TO BE REMOVED. STORE / DISPOSE OF AS DIRECTED BY OWNER 220 REMOVE EXISTING BASE / WALL CABINET. STORE / DISPOSE OF AS DIRECTED BY

221 REMOVE EXISTING BULKHEAD ABOVE CABINETS, TYP.

222 REMOVE SECTION OF CLOSET SHELF / RODS. RE-USE AS REQUIRED BY NEW WORK.

223 REMOVE AND RELOCATE EXISTING CATV OUTLET. SEE DATA PLAN.

224 REMAIN EXISTING CLOSET SHELF / ROD.

225 REMOVE EXISTING MILLWORK.

226 REMOVE EXISTING PLUMBING FIXTURE, STORE / DISPOSE OF AS DIRECTED BY OWNER.

227 EXISTING REFRIGERATOR TO B RELOCATED. SEE NEW WORK PLANS FOR LOCATION.

228 EXISTING ATTIC ACCESS TO REMAIN.

229 EXISTING STEEL COLUMN, TO REMAIN.

230 COORDINATE ALL DEMOLITION WITH NEW WORK PLANS, TYP.

231 REMOVE HANDRAIL / GUARDRAIL.

232 CAREFULLY REMOVE EXISTING TOILET, RELOCATE AS INDICATED ON PLANS.

. ALL DOOR AND WINDOW UNITS

2. SURFACE MOUNTED LIGHTING FIXTURES ALL APPLIANCES

. ALL PLUMBING FIXTURES

NOTE: RELOCATE, RE-USE, STORE / DISPOSE OF AS DIRECTED BY OWNER / PLANS.

ALL ITEMS LISTED TO BE SAVED SHALL BE STORED ON SITE AS DIRECTED BY OWNER. SEE LIST OF ITEMS ON THIS SHEET. CONTRACTOR SHALL CLEAN AND CHECK ALL EXISTING COMPONENTS AND SYSTEMS TO BE REUSE IN THE NEW WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY IN CONDITION. CONTRACTOR SHALL REINSTALL ONLY THOSE ELEMENTS WHICH ARE REASONABLE SUITABLE FOR INCORPORATION INTO THE NEW WORK.

CONTRACTOR SHALL EXERCISE CARE IN THE REMOVAL AND STORAGE OF ALL MATERIAL TO BE REMOVED AND SAVED FOR REUSE. CONTRACTOR SHALL ALSO USE CARE IN ALL WORK AREAS WHICH INVOLVE PORTIONS OF THE EXISTING CONSTRUCTION TO REMAIN.

CONTRACTOR SHALL PERFORM SELECTIVE DEMOLITION OF EXISTING MECHANICAL AND ELECTRICAL SYSTEM COMPONENTS. SEE ELECTRICAL AND PLUMBING DRAWINGS FOR EXTENT OF WORK.

ALL ELECTRICAL WIRING AND PLUMBING WHICH IS ABANDONED SHALL BE REMOVED BACK TO ITS SOURCE IF IT WILL NOT BE INCORPORATED INTO THE NEW WORK.

CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS OF PROVIDING TEMPORARY BRACING FOR STRUCTURAL MEMBERS AS REQUIRED DURING DEMOLITION. THE DEMOLITION WORK SHALL BE CARRIED OUT IN A MANNER THAT THE EXISTING STRUCTURE SHALL NOT BECOME UNSAFE.

CONTRACTOR TO KEEP JOB SITE FREE AND CLEAR OF DEBRIS AT ALL TIMES. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE ON A REGULAR BASIS. JOB SITE SHALL BE BROOM SWEPT DAILY.

CONTRACTOR TO PROVIDE TEMPORARY DUST BARRIERS, RODENT PEST PROTECTION, AND SECURITY MEASURES, CONTRACTOR TO PROTECT EXISTING FINISHES NOT AFFECTED BY DEMOLITION

SCOPE OF DEMOLITION SHALL INCLUDE WORK REASONABLY INFERRED BUT NOT SPECIFICALLY SHOWN.

THE OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF ALL ITEMS AT THIS SITE.

LEGEND

EXISTING ITEM(S) TO BE REMOVED

EXISTING WALL(S) TO BE REMAINED

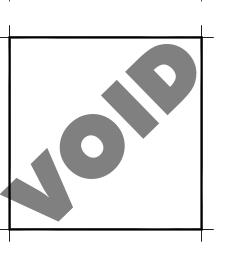
EXISTING WALL / CONSTRUCTION TO REMAIN EXISTING DOOR TO BE RELOCATED. SEE PLANS FOR LOCATION.

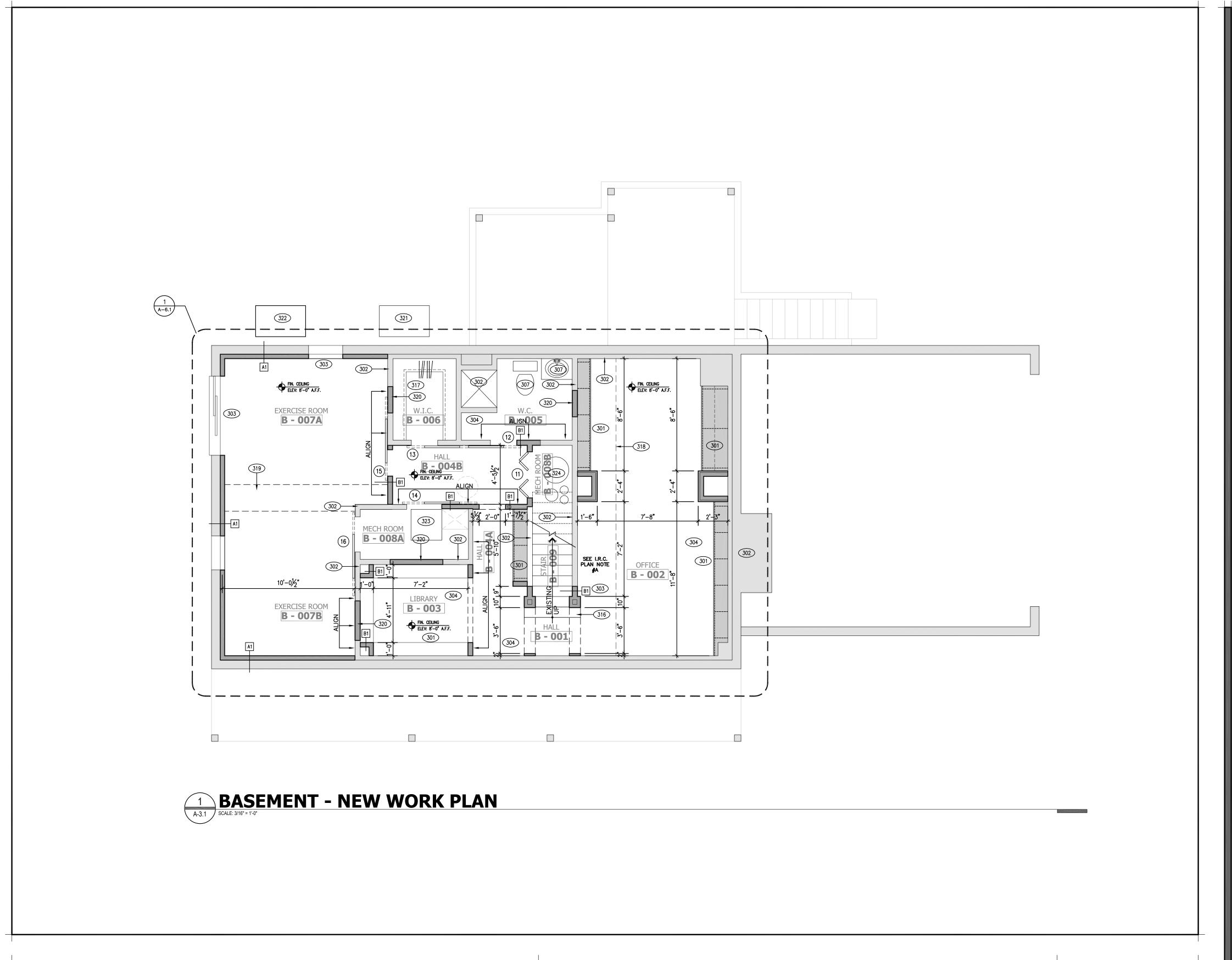


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WINDOWSCH EFER TO SHEET A-0.4/0.5 FOR FULL SCHEDULES	IEDULE					DOOR SCHED	ULE								I.R.C. NOTES
NO. LOCATION	WINDOV	V SIZE (RO)	NO. LOCATION	WINDO	W SIZE (RO)	NO. LOCATION		SIZE		NO.	LOCATION		SIZE		A.) PROVIDE HANDRAIL, AS
(ROOM NO.)	WIDTH	HEIGHT	(ROOM NO.)	WIDTH	HEIGHT		WIDTH	HEIGHT	THICK.		200/11011	WIDTH	HEIGHT	THICK.	REQUIRED, PER I.R.C. SECTION R311.7
						11 HALL (B-004B)	3'-6"	6'-8"	1-3/8"						1011.7
						12 HALL (B-004B)	2'-8"	7'-0"	3/4"						B.) WINDOW UNIT MEETS MINIMUM
						13 HALL (B-004B)	2'-8"	7'-0"	3/4"						OPENING AREA, PER I.R.C. SECTION R310.1.1.
						14 HALL (B-004B)	3'-4"	7'-0"	3/4"						
						15 HALL (B-004B)	2'-8"	7'-0"	3/4"						WINDOW UNIT ALSO MEETS MINIMUM OPENING HEIGHT AND
						16 HALL (B-004B)	3'-4"	7'-0"	3/4"						WIDTH, PER I.R.C. SECTIONS
															R310.1.2 & R310.1.3
															C.) WINDOW / GLAZING IN SHOWER
															UNIT MUST COMPLY WITH SECTION
															R308.1 - TEMPERED GLAZING REQUIRED.
															REQUIRED.

PLAN KEYNOTES **301** SEE MILLWORK PLANS FOR COUNTERTOP / CABINET / MILLWORK DETAILS. **302** EXISTING CONSTRUCTION, TO REMAIN. **303** EXISTING DOOR / WINDOW, TO REMAIN. 304 PATCH, REPAIR EXISTING WALL & CEILING AS REQUIRED BY NEW WORK, TYP. **305** BENCH SEAT, SEE DETAIL ?/?? 306 NEW CLOSET ROD & SHELF, SEE GENERAL PLAN NOTES #9 THIS PAGE. **307** EXISTING PLUMBING FIXTURE, TO REMAIN. 308 EXISTING FIREPLACE FLUE TO BE CAPPED / ABANDONED. CONTRACTOR TO INVESTIGATE BEST SOLUTION, ADVISE ARCHITECT / OWNER. **309** EXISTING ATTIC ACCESS TO REMAIN. EXISTING ELECTRICAL PANEL. CONTRACTOR TO V.I.F. PANEL SIZE MEETS NEW ELECTR REQUIREMENTS. PROVIDE / INSTALL NEW SUBPANEL AS REQUIRED BY NEW WORK. 311 BULKHEAD ABOVE, SEE DETAIL ?/?? 312 BULKHEAD ABOVE, SEE DETAIL ?/?? NEW GAS FIREPLACE, SEE EQUIPMENT SCHEDULE FOR DETAILS. PROVIDE THRU-WALL VENT, PER MANUFACTURER SPECS, TO EXTERIOR. 314 NEW HOSE BIB. CONTRACTOR TO PROVIDE ADD / ALT PRICING. **315** DOOR / WINDOW SWING, TYP., AS INDICATED ON FLOOR PLANS. PROVIDE NEW TREAD @ BOTTOM STAIR RUN. REFER TO MILLWORK PLANS FOR 317 PROVIDE NEW SHELF / ROD (TO MATCH EXISTING) AS REQUIRED BY NEW WORK. RE-USE DEMO'D SHELF. 318 EXISTING MECH. BULKHEAD ABOVE, TO REMAIN. 319 NEW FRAMED IN BULKHEAD, ABOVE. SEE DETAIL ?/?? PROVIDE IN-FILL 2x4 STUD, @24", @ REMOVED DOOR LOCATION, W/ 2" PTD. GYP. BRD. (ON FINISHED ROOM SIDE). **321** EXISTING AC UNIT / PAD, TO REMAIN. PROPOSED LOCATION OF NEW NATURAL GAS TANK / PAD. CONTRACTOR TO INVESTIGATE SIZE OF TANK REQUIREMENTS. PROVIDE ADD / ALT PRICING. 323 EXISTING HVAC UNIT, TO REMAIN. **324** EXISTING HWH / WATER FILTER / SOFTENER SYSTEMS, TO REMAIN. **325** RELOCATED WASHER / DRYER / UTILITY SINK. **326** EXISTING RETURN AIR GRILLE, TO REMAIN. **327** EXISTING ATTIC ACCESS, TO REMAIN. 328 PROVIDE OVERFLOW PAN / DRAIN @ WASHER. 329 EXISTING ROOF SYSTEM / STRUCTURE BELOW. 330 TURN STUD.

WALL TYPE SCHEDULE

2x4 STUD WALL TYPES

2x4 STUD FURRING WALL © 24" O.C., WITH ½" PTD. GYP. BRD. FINISHED ROOM SIDE, W/ R-19
BATT INSULATION. ATTACH NEW STUDS TO EXISTING CONC. WALL.

2x4 STUD FURRING WALL @ 24" O.C., WITH ½" PTD. GYP. BRD. FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTNERS. TURN STUDS AS REQUIRED /

A3 2x4 STUD FURRING WALL @ 24" O.C., WITH ½" STAINED GRADE PLYWOOD, FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTNERS.

2x4 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE (OR BOTH SIDES,

SEE PLANS). PROVIDE 1/2" PTD. GREEN (CONC. BRD.) @ ALL WET LOCATIONS. PROVIDE SOUND ATTENUATING BATT INSULATION AS INDICATED ON PLANS. TURN STUDS AS REQUIRED FOR FURRING.

2x4 STUD WALL @ 16" O.C., WITH $\mbox{\it 1/2}$ " PTD. GYP. BRD. FINISHED ROOM SIDE, $\mbox{\it 1/3}$ " FIRERATED (CDX) GYP. BRD., GARAGE SIDE. PROVIDE R-19 BATT INSULATION.

2x4 STUD 48" WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES AND TOP.

D1 2x8 STUD WALL @ 24" O.C., WITH ½" PTD. GYP. BRD. ALL SIDES.

42" HIGH STUD / GLASS TO CEILING WALL. STUDS @ 24" O.C., WITH ½" GREEN BRD. AND Q.T.

G1 2x4 STUD @ 24" O.C., WITH ½" STAINED GRADE PLYWOOD.

H1] 2x4 STUD @ 24" O.C., WITH ½" PTD. GYP. BRD.

WALL TYPES NOTE: CONTRACTOR TO COMPLETELY REVIEW ALL FLOOR PLANS, ELEVATIONS, AND BUILDING / WALL SECTIONS, TO UNDERSTAND DESIGN & CONSTRUCTION INTENT OF WALL TYPES.

GENERAL PLAN NOTES

ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - U.N.O.
 CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT.
 CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHALL / PLAN REVIEWER.

DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL PLACED ON HINGED SIDE U.N.O.
 PROVIDED SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH ARCHITECT AND OWNER.
 ALL FLOOR MATERIALS CHANGES RETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSE

ETC. COORDINATE WITH ARCHITECT AND OWNER.

ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCHLUTER EDGE TRIM WHEN ABUTTING TILE WITH DISSIMILAR MATERIALS.

ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING, U.N.O.

ALL GWB PARTIAL HT. WALLS SHALL HAVE PITTCON KNEE BRACE KIT SKB-46 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL.
 ALL CLOSETS TO HAVE 1-¹/₄" ALUMN. ROD AT 5'-0" A.F.F. WITH 12" WIDE WHITE MELAMINE SHELF W/ FINISHED EDGE, U.N.C
 SLOPE GRADE ¹/₄" PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.
 PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW

LEC	ЭE	N	D

TEMS ABOVE, OR EQUIPMENT.

EXISTING WALL / CONSTRUCTION TO REMAIN

NEW WALL / CONSTRUCTION

CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK / JOINT ON EACH SIDE.

R### WALL TYPE

R### EXISTING DOOR TO
BE RELOCATED. SEE
PLANS FOR
LOCATION.

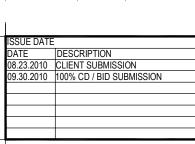
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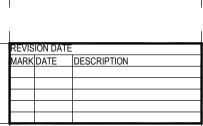
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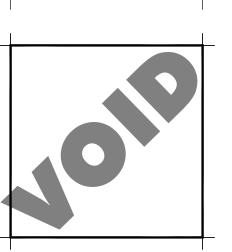
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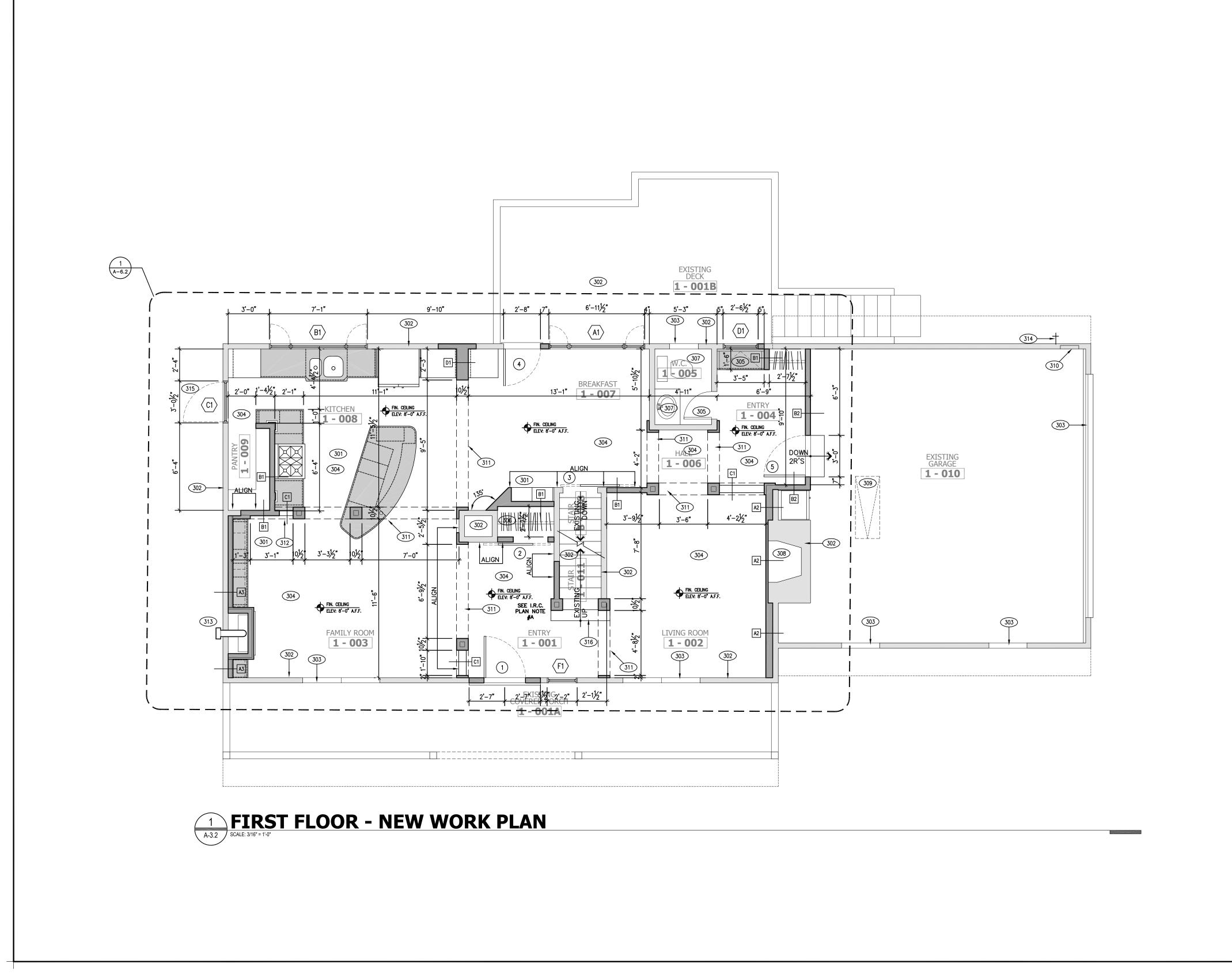


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W	NDOW SCHE D SHEET A-4.1/4.2 FOR FULL SCHEDULES	EDULE				D(OOR SCHEE	DULE					I.R.C. NOTES
NO.		WINDOV	w size (ro) no.	LOCATION	WINDOV	W SIZE (RO)	. LOCATION		SIZE		NO. LOCATION	SIZE	A.) PROVIDE HANDRAIL, AS
	(ROOM NO.)	WIDTH	HEIGHT	(ROOM NO.)	WIDTH	HEIGHT		WIDTH	HEIGHT	THICK.		WIDTH HEIGHT THI	CK. REQUIRED, PER I.R.C. SECTION R311.7
A1	BREAKFAST (1- 007)	8'-0 1/2"	4'-11 7/8"			1	ENTRY (1-001)	3'-0"	6'-8"	1-3/8"			1011.7
B1	KITCHEN (1- 008)	7'-5 1/4"	2'-11 15/16"			2	ENTRY (1-001)	2'-8"	7'-0"	3/4"			B.) WINDOW UNIT MEETS MINIMUM
C1	PANTRY (1- 009)	3'-0 1/2"	5'-0 3/8"			3	BREAKFAST (1-007)	3'-2"	7'-0"	3/4"			OPENING AREA, PER I.R.C. SECTION R310.1.1.
D1	ENTRY (1- 004)	2'-6 1/8"	3'-4 7/8"			4	BREAKFAST (1-007)	2'-8"	6'-8"	3/4"			
F1	ENTRY (1- 001)	2'-1 5/8"	5'-4 7/8"			5	ENTRY (1-004)	3'-0"	6'-8"	1-3/8"			WINDOW UNIT ALSO MEETS MINIMUM OPENING HEIGHT AND
													WIDTH, PER I.R.C. SECTIONS
													R310.1.2 & R310.1.3
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WALL TYPE SCHEDULE

2x4 STUD WALL TYPES

AT 2x4 STUD FURRING WALL @ 24" O.C., WITH ½" PTD. GYP. BRD. FINISHED ROOM SIDE, W/ R-19
BATT INSULATION. ATTACH NEW STUDS TO EXISTING CONC. WALL.

2x4 STUD FURRING WALL @ 24" O.C., WITH ½" PTD. GYP. BRD. FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTNERS. TURN STUDS AS REQUIRED /

2x4 STUD FURRING WALL @ 24" O.C., WITH χ " STAINED GRADE PLYWOOD, FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTNERS.

2x4 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE (OR BOTH SIDES, SEE PLANS). PROVIDE ½" PTD. GREEN (CONC. BRD.) @ ALL WET LOCATIONS. PROVIDE SOUND ATTENUATING BATT INSULATION AS INDICATED ON PLANS. TURN STUDS AS REQUIRED FOR

2x4 STUD WALL @ 16" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, 1/8" FIRERATED

(CDX) GYP. BRD., GARAGE SIDE. PROVIDE R-19 BATT INSULATION.

2x4 STUD 48" WALL @ 24" O.C., WITH ½" PTD. GYP. BRD. ALL SIDES AND TOP. 2x8 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES.

42" HIGH STUD / GLASS TO CEILING WALL. STUDS @ 24" O.C., WITH ½" GREEN BRD. AND Q.T.

G1 2x4 STUD @ 24" O.C., WITH ½" STAINED GRADE PLYWOOD.

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. ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - U.N.O. CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHALL / PLAN REVIEWER.

DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL PLACED ON HINGED SIDE U.N.O. PROVIDED SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH ARCHITECT AND OWNER. . ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCHLUTER EDGE TRIM WHEN ABUTTING TILE WITH DISSIMILAR MATERIALS.

ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING, U.N.O. ALL GWB PARTIAL HT. WALLS SHALL HAVE PITTCON KNEE BRACE KIT SKB-46 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL. ALL CLOSETS TO HAVE 1-4" ALUMN. ROD AT 5'-0" A.F.F. WITH 12" WIDE WHITE MELAMINE SHELF W/ FINISHED EDGE, U.N.C 10. SLOPE GRADE $\frac{1}{4}$ " PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.

11. PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW

LE	\overline{G}	F	\overline{N}	\overline{D}

BATT INSULATION

— — — — ITEMS ABOVE, OR EQUIPMENT. EXISTING WALL / CONSTRUCTION TO REMAIN R### EXISTING DOOR TO NEW WALL / CONSTRUCTION

CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK / JOINT ON EACH SIDE.

BE RELOCATED. SEE PLANS FOR

LOCATION.

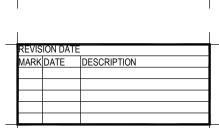


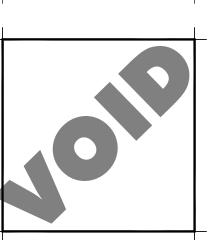
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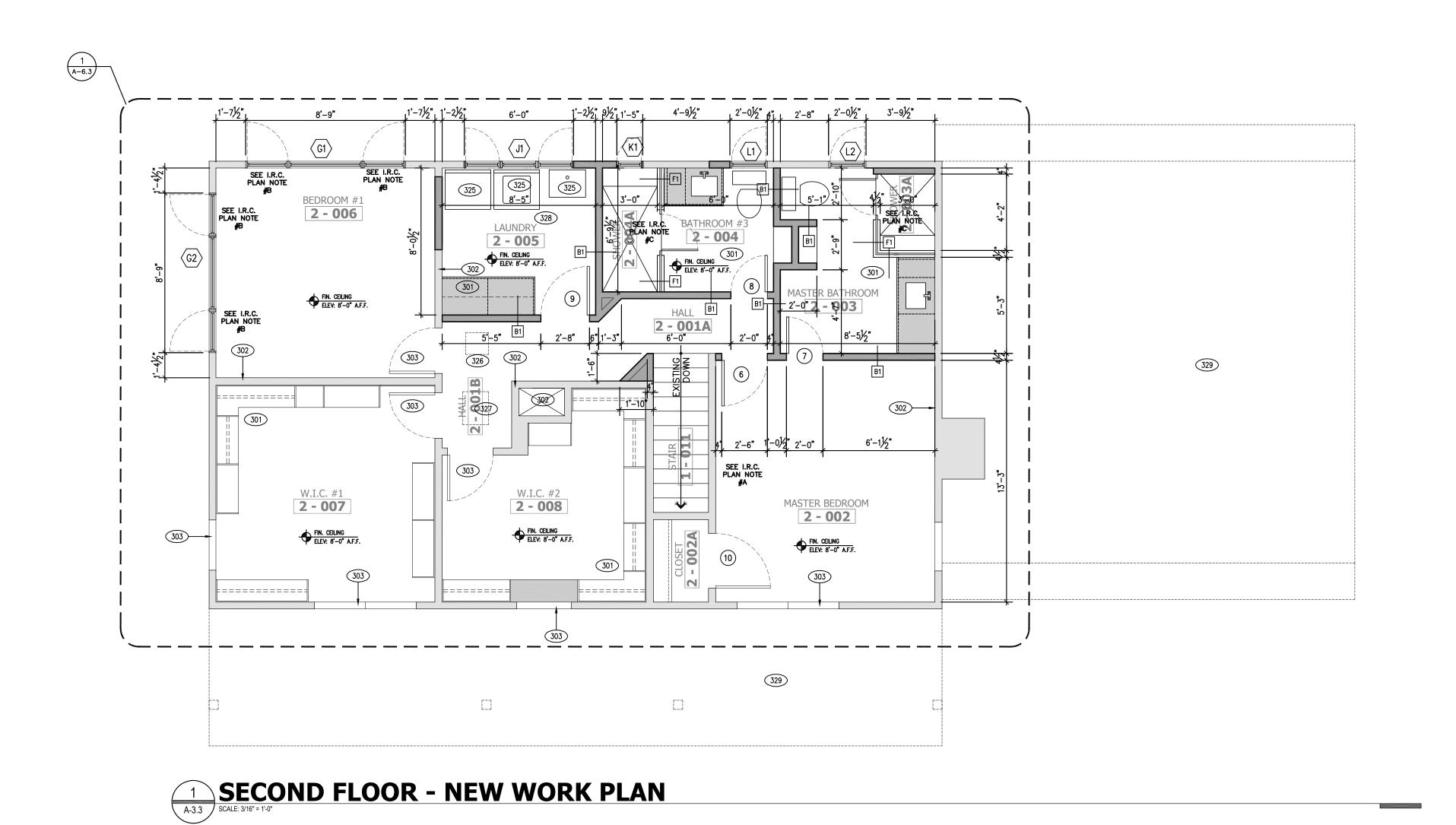
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.23.2010 CLIENT SUBMISSION 19.30.2010 100% CD / BID SUBMISSION







WINDOW SCH EFER TO SHEET A-4.1 / 4.2 FOR FULL SCHEDULES	EDULE					DO	oor schedl	JLE							I.R.C. NOTES
NO. LOCATION	WINDO	W SIZE (RO)). LOCATION	WINDO	W SIZE (RO)	NO.	. LOCATION		SIZE	NO.	LOCATION		SIZE		A.) PROVIDE HANDRAIL, AS
(ROOM NO.)	WIDTH	HEIGHT	(ROOM NO.)	WIDTH	HEIGHT		. 200,411014	WIDTH	HEIGHT	THICK.	200,111011	WIDTH	HEIGHT	THICK.	REQUIRED, PER I.R.C. SECTION R311.7
G1 BEDROOM #1 (2- 006)	8'-9"	5'-4 13/16"				6	MASTER BEDROOM (2-002)	2'-6"	6'-8"	1-3/8"					1.011.7
BEDROOM #1 (2- 006)	8'-9"	5'-4 13/16"				7	MASTER BEDROOM (2-002)	2'-0"	6'-8"	1-3/8"					B.) WINDOW UNIT MEETS MINIMUM
I1 LAUNDRY (2- 005)	5'-1 1/2"	3'-4 3/8"				8	HALL (2-001A)	2'-0"	6'-8"	1-3/8"					OPENING AREA, PER I.R.C. SECTION R310.1.1.
(1 BATH (2- 004)	1'-5 1/2"	2'-4 7/8"				9	HALL (2-001A)	2'-8"	6'-8"	1-3/8"					
.1 BATH (2- 004)	2'-4 7/8"	3'-0 1/2"				10	MASTER BEDROOM (2-002)	3'-0"	6'-8"	1-3/8"					WINDOW UNIT ALSO MEETS MINIMUM OPENING HEIGHT AND
.2 MASTER BATH (2- 003)	2'-4 7/8"	3'-0 1/2"													WIDTH, PER I.R.C. SECTIONS
															R310.1.2 & R310.1.3
															C.) WINDOW / GLAZING IN SHOWER
															UNIT MUST COMPLY WITH SECTION
															R308.1 - TEMPERED GLAZING REQUIRED.
															7

301 SEE MILLWORK PLANS FOR COUNTERTOP / CABINET / MILLWORK DETAILS. **302** EXISTING CONSTRUCTION, TO REMAIN. **303** EXISTING DOOR / WINDOW, TO REMAIN. 304 PATCH, REPAIR EXISTING WALL & CEILING AS REQUIRED BY NEW WORK, TYP. **305** BENCH SEAT, SEE DETAIL ?/?? 306 NEW CLOSET ROD & SHELF, SEE GENERAL PLAN NOTES #9 THIS PAGE. **307** EXISTING PLUMBING FIXTURE, TO REMAIN. 308 EXISTING FIREPLACE FLUE TO BE CAPPED / ABANDONED. CONTRACTOR TO INVESTIGATE BEST SOLUTION, ADVISE ARCHITECT / OWNER. **309** EXISTING ATTIC ACCESS TO REMAIN. EXISTING ELECTRICAL PANEL. CONTRACTOR TO V.I.F. PANEL SIZE MEETS NEW ELECTR REQUIREMENTS. PROVIDE / INSTALL NEW SUBPANEL AS REQUIRED BY NEW WORK. 311 BULKHEAD ABOVE, SEE DETAIL ?/?? 312 BULKHEAD ABOVE, SEE DETAIL ?/?? NEW GAS FIREPLACE, SEE EQUIPMENT SCHEDULE FOR DETAILS. PROVIDE THRU-WALL VENT, PER MANUFACTURER SPECS, TO EXTERIOR. 314 NEW HOSE BIB. CONTRACTOR TO PROVIDE ADD / ALT PRICING. **315** DOOR / WINDOW SWING, TYP., AS INDICATED ON FLOOR PLANS. PROVIDE NEW TREAD @ BOTTOM STAIR RUN. REFER TO MILLWORK PLANS FOR 317 PROVIDE NEW SHELF / ROD (TO MATCH EXISTING) AS REQUIRED BY NEW WORK. RE-USE DEMO'D SHELF. 318 EXISTING MECH. BULKHEAD ABOVE, TO REMAIN. 319 NEW FRAMED IN BULKHEAD, ABOVE. SEE DETAIL ?/?? PROVIDE IN-FILL 2x4 STUD, @24", @ REMOVED DOOR LOCATION, W/ 2" PTD. GYP. BRD. (ON FINISHED ROOM SIDE). **321** EXISTING AC UNIT / PAD, TO REMAIN. PROPOSED LOCATION OF NEW NATURAL GAS TANK / PAD. CONTRACTOR TO INVESTIGATE SIZE OF TANK REQUIREMENTS. PROVIDE ADD / ALT PRICING. 323 EXISTING HVAC UNIT, TO REMAIN. **324** EXISTING HWH / WATER FILTER / SOFTENER SYSTEMS, TO REMAIN. **325** RELOCATED WASHER / DRYER / UTILITY SINK. **326** EXISTING RETURN AIR GRILLE, TO REMAIN. 327 EXISTING ATTIC ACCESS, TO REMAIN. 328 PROVIDE OVERFLOW PAN / DRAIN @ WASHER. 329 EXISTING ROOF SYSTEM / STRUCTURE BELOW. 330 TURN STUD.

PLAN KEYNOTES

WALL TYPE SCHEDULE

2x4 STUD WALL TYPES

AT 2x4 STUD FURRING WALL @ 24" O.C., WITH ½" PTD. GYP. BRD. FINISHED ROOM SIDE, W/ R-19
BATT INSULATION. ATTACH NEW STUDS TO EXISTING CONC. WALL.

A2 2x4 STUD FURRING WALL @ 24 O.C., WITH 1/2 FID. GIF. BID. THINGIELD TOOLS AS REQUIRED / 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE. ATTACH

2x4 STUD FURRING WALL @ 24" O.C., WITH χ " STAINED GRADE PLYWOOD, FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTNERS.

2x4 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE (OR BOTH SIDES. SEE PLANS). PROVIDE ½" PTD. GREEN (CONC. BRD.) @ ALL WET LOCATIONS. PROVIDE SOUND ATTENUATING BATT INSULATION AS INDICATED ON PLANS. TURN STUDS AS REQUIRED FOR

2x4 STUD WALL @ 16" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, 1/8" FIRERATED

(CDX) GYP. BRD., GARAGE SIDE. PROVIDE R-19 BATT INSULATION.

2x4 STUD 48" WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES AND TOP.

D1 2x8 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES.

42" HIGH STUD / GLASS TO CEILING WALL. STUDS @ 24" O.C., WITH 1/2" GREEN BRD. AND Q.T.

G1 2x4 STUD @ 24" O.C., WITH ½" STAINED GRADE PLYWOOD.

H1 2x4 STUD @ 24" O.C., WITH 1/2" PTD. GYP. BRD.

WALL TYPES NOTE: CONTRACTOR TO COMPLETELY REVIEW ALL FLOOR PLANS, ELEVATIONS, AND BUILDING / WALL SECTIONS, TO UNDERSTAND DESIGN & CONSTRUCTION INTENT OF WALL TYPES.

ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - U.N.O. CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHALL / PLAN REVIEWER. DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL PLACED ON HINGED SIDE U.N.O.

PROVIDED SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH ARCHITECT AND OWNER. ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCHLUTER EDGE TRIM WHEN ABUTTING TILE WITH DISSIMILAR MATERIALS.

ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING, U.N.O. 3. ALL GWB PARTIAL HT. WALLS SHALL HAVE PITTCON KNEE BRACE KIT SKB-46 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL. ALL CLOSETS TO HAVE 1-4" ALUMN. ROD AT 5'-0" A.F.F. WITH 12" WIDE WHITE MELAMINE SHELF W/ FINISHED EDGE, U.N.C 10. SLOPE GRADE $\frac{1}{4}$ " PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.

11. PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK / JOINT ON EACH SIDE.

LEGEND	
	IT

BATT INSULATION

ITEMS ABOVE, OR EQUIPMENT. EXISTING WALL / CONSTRUCTION TO REMAIN NEW WALL / CONSTRUCTION

R### EXISTING DOOR TO BE RELOCATED. SEE PLANS FOR LOCATION.



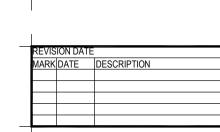
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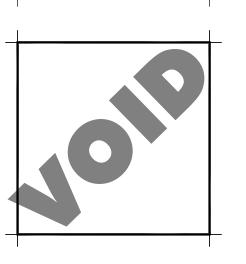
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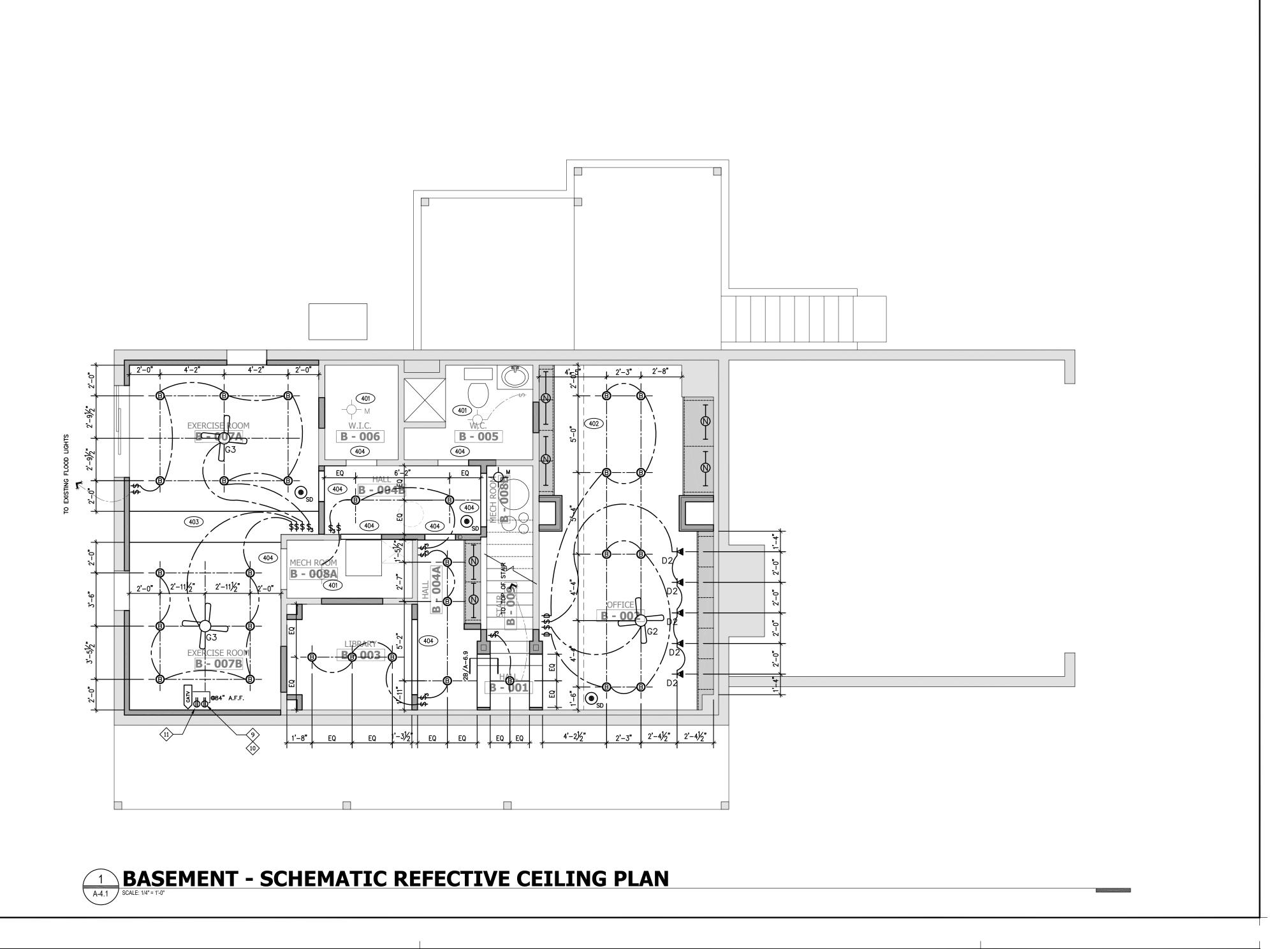
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SECOND 23.2010 CLIENT SUBMISSION 19.30.2010 100% CD / BID SUBMISSION







ELECTRICAL FIX	KTURE	SCHE	DULE				ELECTR	ICAL LEGEND			EQUIPMEN	T
NO. TYPE	MANUF.	STYLE	MANUF. ID	COLOR	BULB	NOTES	SYM.	DESCRIPTION	SYM.	DESCRIPTION	NO. ITEM	NO. ITEM
A1 SURFACE WALL MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$	SINGLE POLE SWITCH	~~~~	ROPE LIGHTING	1 T.V.	23 DISPOSAL
A2 SURFACE WALL MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$ ₃	3 WAY POLE SWITCH	Е	EXISTING ITEM TO REMAIN	2 T.V. WALL MOUNT	24 WASHER
B RECESSED DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN		D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED	3 PRINTER	25 DRYER
C EXHAUST FAN	NUTONE	LYTCASTER		WHITE		PROVIDE VS-64 SOLID STATE CONTROL SWITCH	фз	3 WAY DIMMER SWITCH	-фм	SURFACE MOUNTED PULL STRING FIXTURE	4 COPIER	26 HAIRDRYER
D1 SURFACE MOUNTED PENDENT						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$₀	RHEOSTAT	- Ģ - _M	EXISTING SURFACE MOUNTED PULL STRING FIXTURE	5 EXISTING FURN	
D2 SURFACE MOUNTED PENDENT						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	—— R+60"	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.		EXISTING ELEC RUN, TO REMAIN	6 EXISTING H.W.H.	
F 6-¾" (SHOWER) WATERPROOF DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN		()	JUNCTION BOX			7 EX'G WATER FILTER	
G1 CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	CATV	CABLE T.V. OUTLET			8 CABLE T.V. RECIEVER	
G2 CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	H	TEL/DATA OUTLET			9 T.V.	
G3 CEILING FAN								CEILING, SURFACE MOUNTED LIGHT FIXTURE			10 T.V. WALL MOUNT	
H1 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	#	RECESSED LIGHT FIXTURE			11 CABLE T.V. RECIEVER	
H2 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	O #	RECESSED WALL WASHER (ACCENT LIGHT)			12 GAS FIREPLACE	
H3 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.		WALL MOUNTED LIGHT FIXTURE			13 T.V.	
H4 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	— ∰ ∪/C I	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET			14 T.V. WALL MOUNT	
M EXPOSED PORCELAIN BULB	ANY	ANY				WITH PULL STRING	SD	SMOKE DETECTOR— INTERCONNECTED			15 CABLE T.V. RECIEVER	
N UNDER CABINET MOUNTED LIGHTING	ANY	ANY				FLORESCENT	9	SPEAKER, BY OWNER			16 DOOR BUZZER	
							®	RHEOSTAT, BY OWNER			17 MICROWAVE	
							©	EXHAUST FAN / LIGHT COMBO			18 COOKTOP / OVEN	
							4	EXTERIOR FLOODLIGHT WITH MOTION DETECTOR			19 DISHWASHER	
SWITCHES: SINGLE POLE & 3-WAY	LEVITON OR EQUAL	DECORA		WHITE		WHITE PLASTIC COVER PLATE	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \				20 REFRIGERATOR	
SWITCHES: DIMMERS	LEVITON OR EQUAL	DECORA		WHITE		PADDLE TYPE WITH SLIDE. WHITE PLASTIC COVER PLATE		CEILING MOUNTED PADDLE FAN— PROVIDE FAN SUPPORT BOX			21 REFRIGERATOR	
RECEPTACLES	LEVITON OR	DECORA		WHITE		WHITE PLASTIC COVER PLATE		THE TAIL SOLL SIXT BOX			22 RANGE HOOD	

- **401** EXISTING FIXTURE, TO REMAIN. PROVIDE NEW SWITCHING AS INDICATED.
- **402** EXISTING MECH DUCT, TO REMAIN.
- 403 NEW FRAMED-IN EXISTING MECH / STEEL BEAM BULKHEAD.
- 404 PROVIDE NEW DOOR BULKHEAD.
- 405 RELOCATED SURFACE MOUNTED FIXTURE.
- **406** EXISTING CEILING FAN, TO REMAIN.
- 407 RELOCATED DOORBELL.

GENERAL PLAN NOTES

1.) SCHEMATIC ELECTRIC PLAN(S), NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/ OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.

2.) OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 18" A.F.F. U.N.O.

3.) SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.

4.) CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO

5.) ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.

6.) THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR

7.) THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.

8.) ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A

9.) WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.

10.) THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL NSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS

11.) THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.

12.) IN GENERAL, NOT MORE THAN (10) LIGHTING AND/ OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.

13.) CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR): GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.

14.) LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10 %

15.) FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.

16.) FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.

17.) ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.

18.) FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PLASTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTACLES.

19.) FURNISH AND INSTALL A 3-INCH-DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLASTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 18 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION, TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE

20.) CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER

21.) THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.

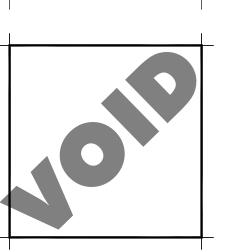
22.) UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY, LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.

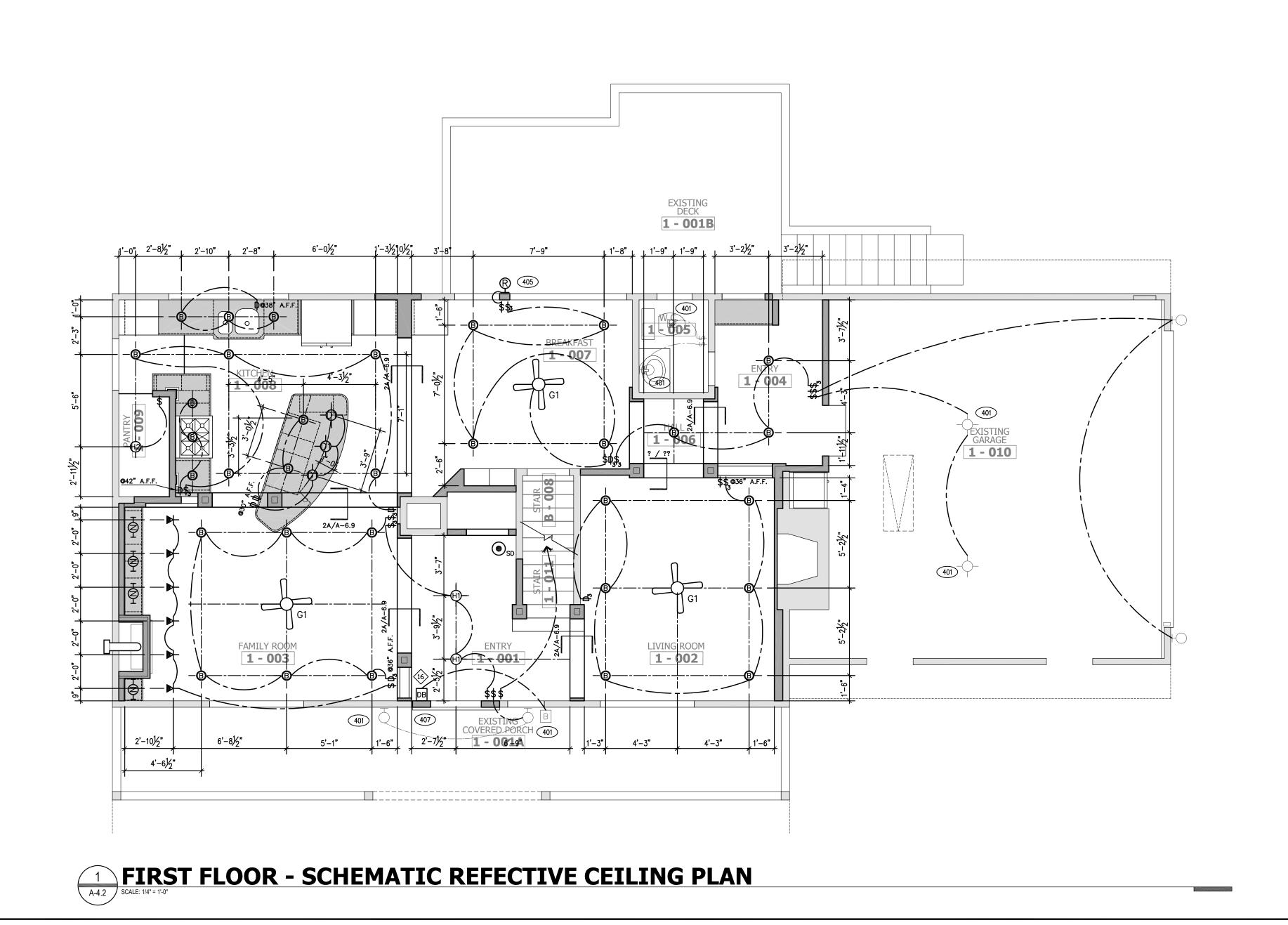
23.) CONTRACTOR TO VERIFY EX'G. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



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8.23.2010 CLIENT SUBMISSION





ELECTRICAL FIX	<u>(TURE</u>	SCHE	DULE				ELECTR	ICAL LEGEND			EQUIPMEN	Τ
NO. TYPE	MANUF.	STYLE	MANUF. ID	COLOR	BULB	NOTES	SYM.	DESCRIPTION	SYM.	DESCRIPTION	NO. ITEM	NO. ITEM
A1 SURFACE WALL MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$	SINGLE POLE SWITCH	~~~~	ROPE LIGHTING	1 T.V.	23 DISPOSAL
A2 SURFACE WALL MOUNTED FIXTURE						INSTALLED BY G.C. TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$ ₃	3 WAY POLE SWITCH	Е	EXISTING ITEM TO REMAIN	2 T.V. WALL MOUNT	24 WASHER
B RECESSED DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN		D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED	3 PRINTER	25 DRYER
C EXHAUST FAN	NUTONE	LYTCASTER		WHITE		PROVIDE VS-64 SOLID STATE CONTROL SWITCH	фз	3 WAY DIMMER SWITCH	-фъ	SURFACE MOUNTED PULL STRING FIXTURE	4 COPIER	26 HAIRDRYER
D1 SURFACE MOUNTED PENDENT						STATE CONTROL SWITCH TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$₀	RHEOSTAT	- ф -м	EXISTING SURFACE MOUNTED PULL STRING FIXTURE	5 EXISTING FURN	
SURFACE MOUNTED PENDENT						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	—— R+60"	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.		EXISTING ELEC RUN, TO REMAIN	6 EXISTING H.W.H.	
F 6-¾" (SHOWER) WATERPROOF DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN		0	JUNCTION BOX			7 EX'G WATER FILTER	
G1 CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	CATV	CABLE T.V. OUTLET			8 CABLE T.V. RECIEVER	
G2 CEILING FAN						INSTALLED BY G.C. TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	H	TEL/DATA OUTLET			9 T.V.	
G3 CEILING FAN								CEILING, SURFACE MOUNTED LIGHT FIXTURE			10 T.V. WALL MOUNT	
H1 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	#	RECESSED LIGHT FIXTURE			11 CABLE T.V. RECIEVER	
H2 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C. TO BE PROVIDED BY OWNER,	O #	RECESSED WALL WASHER (ACCENT LIGHT)			12 GAS FIREPLACE	
H3 CEILING SURFACE MOUNTED						TO BE PROVIDED BY OWNER, INSTALLED BY G.C. TO BE PROVIDED BY OWNER,		WALL MOUNTED LIGHT FIXTURE			13 T.V.	
H4 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	— ∰ U/C I	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET			14 T.V. WALL MOUNT	
M EXPOSED PORCELAIN BULB	ANY	ANY				WITH PULL STRING	SD	SMOKE DETECTOR- INTERCONNECTED			15 CABLE T.V. RECIEVER	
N UNDER CABINET MOUNTED LIGHTING	ANY	ANY				FLORESCENT	S	SPEAKER, BY OWNER			16 DOOR BUZZER	
							R	RHEOSTAT, BY OWNER			17 MICROWAVE	
								EXHAUST FAN / LIGHT COMBO			18 COOKTOP / OVEN	
							4	EXTERIOR FLOODLIGHT WITH MOTION DETECTOR			19 DISHWASHER	
SWITCHES: SINGLE POLE & 3-WAY	LEVITON OR EQUAL	DECORA		WHITE		WHITE PLASTIC COVER PLATE	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \				20 REFRIGERATOR	
SWITCHES: DIMMERS	EQUAL LEVITON OR EQUAL	DECORA		WHITE		PADDLE TYPE WITH SLIDE. WHITE PLASTIC COVER PLATE		CEILING MOUNTED PADDLE FAN— PROVIDE FAN SUPPORT BOX			21 REFRIGERATOR	
RECEPTACLES	LEVITON OR	DECORA		WHITE		WHITE PLASTIC COVER PLATE		THOUSE THE SOLL ON BOX			22 RANGE HOOD	

- **401** EXISTING FIXTURE, TO REMAIN. PROVIDE NEW SWITCHING AS INDICATED.
- **402** EXISTING MECH DUCT, TO REMAIN.
- 403 NEW FRAMED-IN EXISTING MECH / STEEL BEAM BULKHEAD.
- 404 PROVIDE NEW DOOR BULKHEAD.
- 405 RELOCATED SURFACE MOUNTED FIXTURE.
- 406 EXISTING CEILING FAN, TO REMAIN.
- 407 RELOCATED DOORBELL.

GENERAL PLAN NOTES

1.) SCHEMATIC ELECTRIC PLAN(S), NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.

2.) OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 18" A.F.F. U.N.O.

3.) SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.

4.) CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.

5.) ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.

6.) THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR DESIGNER PRIOR TO WIRING.

7.) THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.

8.) ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.

9.) WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.

10.) THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL INSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS CONTRACT.

11.) THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.

12.) IN GENERAL, NOT MORE THAN (10) LIGHTING AND/ OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.

13.) CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR): GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.

14.) LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10 %

15.) FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.

16.) FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.

17.) ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.

18.) FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PLASTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTACLES.

19.) FURNISH AND INSTALL A 3-INCH-DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLASTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 18 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION, TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS.

20.) CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.

21.) THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.

22.) UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY, LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.

23.) CONTRACTOR TO VERIFY EX'G. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



RESIDI

JACKSON

TOTION - ALEXANDRIA, VA 2231

LEY NCARB ARCHITECT - THE USE OF THIS DESIGN / PLANS AND SPECIFICATIONS SHALL BE GINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSIY UMITED PROPARED AND PUBLICATION IN AND OR BY BE INDICATION BY ANY METHOD. IN WHACH IS BOUNDED.

SSUE DATE

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DESCRIPTION

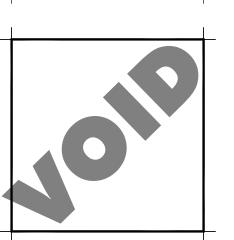
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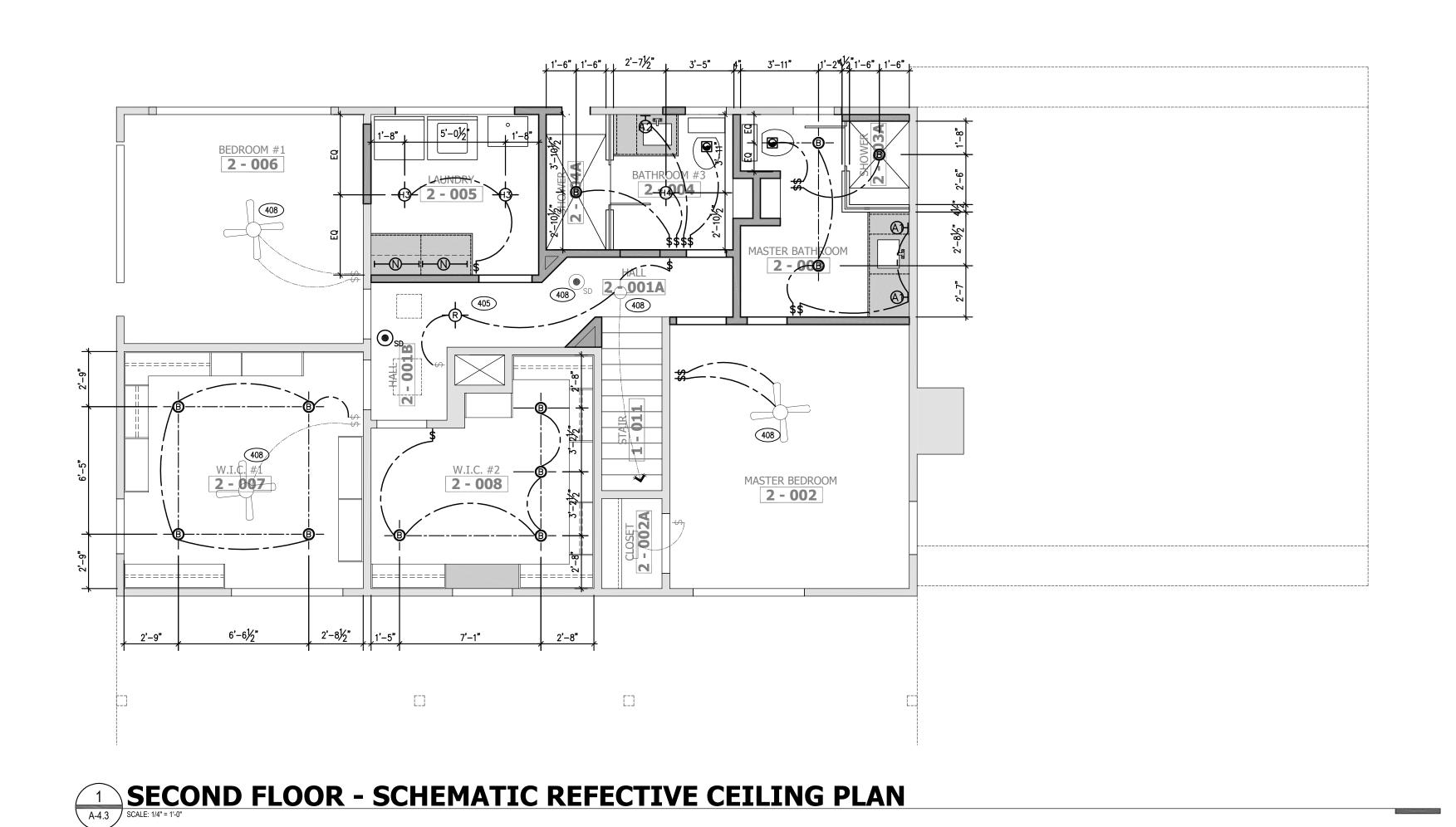
9.30.2010

100% CD / BID SUBMISSION

REVISION DATE
MARK DATE DESCRIPTION



Δ.4.2



ELECTRICAL FIX	XTURE	SCHE	DULE				ELECTR	ICAL LEGEND			EQUIPMEN	T
NO. TYPE		STYLE	MANUF. ID	COLOR	R BULB	NOTES	SYM.	DESCRIPTION	SYM.	DESCRIPTION	NO. ITEM	NO. ITEM
A1 SURFACE WALL MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$	SINGLE POLE SWITCH	~~~~	ROPE LIGHTING	1 T.V.	22 RANGE HOOD
A2 SURFACE WALL MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$,	3 WAY POLE SWITCH	E	EXISTING ITEM TO REMAIN	2 T.V. WALL MOUNT	23 DISPOSAL
B RECESSED DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN	INTO TALLED BY ONE.	D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED	3 PRINTER	24 WASHER
C EXHAUST FAN	NUTONE	LYTCASTER		WHITE		PROVIDE VS-64 SOLID STATE CONTROL SWITCH	Фз	3 WAY DIMMER SWITCH	-фъ	SURFACE MOUNTED PULL STRING FIXTURE	4 COPIER	25 DRYER
D1 SURFACE MOUNTED PENDENT	Г					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	\$ ₀	RHEOSTAT	-Ò-M	EXISTING SURFACE MOUNTED PULL STRING FIXTURE	5 EXISTING FURN	26 HAIRDRYER
D2 SURFACE MOUNTED PENDENT	Г					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	→ R+60"	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.		EXISTING ELEC RUN, TO REMAIN	6 EXISTING H.W.H.	
F 6-¾" (SHOWER) WATERPROOF DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN		(JUNCTION BOX			7 EX'G WATER FILTER	
G1 CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	(CATV)	CABLE T.V. OUTLET			8 CABLE T.V. RECIEVER	
G2 CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	H	TEL/DATA OUTLET			9 T.V.	
G3 CEILING FAN								CEILING, SURFACE MOUNTED LIGHT FIXTURE			10 T.V. WALL MOUNT	
H1 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	#	RECESSED LIGHT FIXTURE			11 CABLE T.V. RECIEVER	
H2 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER,	O #	RECESSED WALL WASHER (ACCENT LIGHT)			12 GAS FIREPLACE	
H3 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	- -	WALL MOUNTED LIGHT FIXTURE			13 T.V.	
H4 CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.	<u>₩</u> ∪/c	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET			14 T.V. WALL MOUNT	
M EXPOSED PORCELAIN BULB	ANY	ANY				WITH PULL STRING	● _{SD}	SMOKE DETECTOR— INTERCONNECTED			15 CABLE T.V. RECIEVER	
N UNDER CABINET MOUNTED LIGHTING	ANY	ANY				FLORESCENT	S	SPEAKER, BY OWNER			16 DOOR BUZZER	
3.5							®	RHEOSTAT, BY OWNER			17 MICROWAVE	
							6	EXHAUST FAN / LIGHT COMBO			18 COOKTOP / OVEN	
							44	EXTERIOR FLOODLIGHT WITH MOTION DETECTOR			19 DISHWASHER	
SWITCHES: SINGLE POLE & 3-WAY	LEVITON OR EQUAL	DECORA		WHITE		WHITE PLASTIC COVER PLATE	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \				20 REFRIGERATOR	
SWITCHES: DIMMERS	LEVITON OR FOUAL	DECORA		WHITE		PADDLE TYPE WITH SLIDE. WHITE PLASTIC COVER PLATE		CEILING MOUNTED PADDLE FAN— PROVIDE FAN SUPPORT BOX			21 REFRIGERATOR	
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DLONY COURT - WOODBRIDGE, VIRGINIA 20112
COUNTY OF PRINCE WILLIAM, VIRGINIA

DOST

RESIDENCE

JACKSON

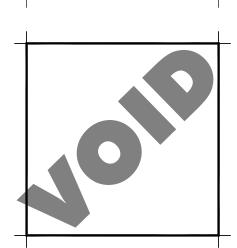
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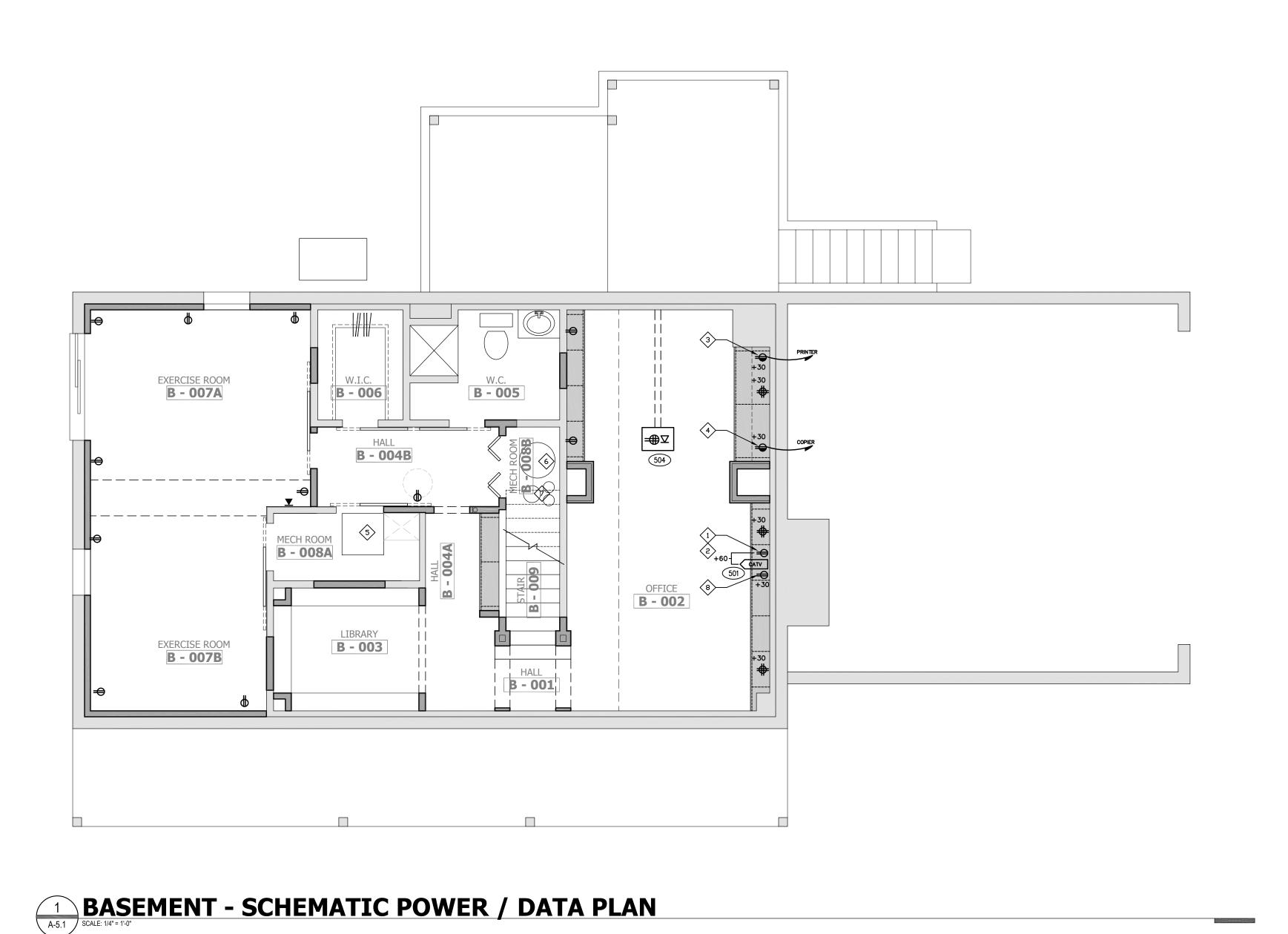
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9.30.2010 100% CD / BID SUBMISSION

SECOND |

REVISION DATE
MARK DATE DESCRIPTION



A - 4.3



ELECT	RICAL LEGEND			EG	QUIPMENT S	SCHEDU	LE			
SYM.	DESCRIPTION	SYM.	DESCRIPTION	NO.	LOCATION (RM NO.) ITEM	NOTES	NO. LOCATION (RM NO.)	ITEM	NOTES
\$	SINGLE POLE SWITCH	•	GARBAGE DISPOSAL	1	OFFICE (B-002)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.	20 KITCHEN (1-008)	REFRIGERATOR	ENERGY STAR? 28.5 Cu. Ft. French—Door Refrigerator
\$ ₃	3 WAY POLE SWITCH	E	EXISTING ITEM TO REMAIN	2	OFFICE (B-002)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER	21 EX'G GARAGE (1-010)	REFRIGERATOR	RELOCATED
D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED	3	OFFICE (B-002)	PRINTER	-	22 KITCHEN (1-008)	RANGE HOOD	30" Wall-Mount Hood
фз	3 WAY DIMMER SWITCH	⊢ ∰ ^{U/C} I	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET	4	OFFICE (B-002)	COPIER	-	23 KITCHEN (1-008)	DISPOSAL	_
\$₀	RHEOSTAT		DEDICATED CIRCUIT	5	MECH ROOM (B-008A)	EXISTING FURN	-	24 LAUNDRY (2-005)	WASHER	RELOCATED FROM BASEMENT
→ R+60"	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.	₩	DEDICATED CIRCUIT	6	MECH ROOM (B-008B)	EXISTING H.W.H.	-	25 LAUNDRY (2-005)	DRYER	RELOCATED FROM BASEMENT
()	JUNCTION BOX		FLUSH FLOOR MOUNTED QUAD / PHONE OUTLET.	7	MECH ROOM (B-008B)	EX'G WATER FILTER	₹ _	26 MASTER BATH (2-003)	HAIRDRYER	_
CATV	CABLE T.V. OUTLET	- ₩∇	FLOSH FLOOR MOUNTED GOAD / PHONE OUTLET.	8	OFFICE (B-002)	CABLE T.V. RECIEVER	-			
H	TEL/DATA OUTLET			9	EXERISE ROOM (B-007B)	T.V.	WALL MOUNTED @ 6'-0" A.F.F.			
H	WALL MOUNTED TELEPHONE OUTLET			10	EXERISE ROOM (B-007B)		CORRDINATE LOCATION W/ OWNER			
—— R+60"	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.			11	OFFICE (B-002)	CABLE T.V. RECIEVER	-			
=	DUPLEX OUTLET			12	FAMILY ROOM (1-003)	GAS FIREPLACE	Regency P33 Sunrise Bronze			
€GFCI	GROUND-FAULT CIRCUIT INTERRUPTER			13	FAMILY ROOM (1-003)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.			
⇒ _{afci}	ARC-FAULT CIRCUIT INTERRUPTER			14	FAMILY ROOM (1-003)		CORRDINATE LOCATION W/ OWNER			
⇒ wp	EXTERIOR WATER-PROOF OUTLET			15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	-			
€#	DUPLEX OUTLET(# INDICATES HGT. A.F.F.)			16	ENTRY (1-001)	DOOR BUZZER	-			
€,	DUPLEX OUTLET-MOUNTED HORIZONTALLY			17	KITCHEN (1-008)	MICROWAVE	Advantium? 120V - 30 in. Wall Oven			
	QUADRUPLEX OUTLET			18	KITCHEN (1-008)	COOKTOP / OVEN	30" Free-Standing Double Oven Range			
-	HALF-SWITCHED OUTLET			19	KITCHEN (1-008)	DISHWASHER	Interior Built—In Dishwasher with Hidden Controls			

- 501 RELOCATED CATV OUTLET, AS INDICATED
- 502 CONTRACTOR TO V.I.F. EXISTING OUTLETS, RELOCATE AS REQUIRED BY NEW WORK.
- 503 COORDINATE SWITCHES W/ RCP LIGHTING REQUIREMENTS. PLACEMENT OF SWITCHES TO BE HORIZONTAL
- AA CONTRACTOR TO PROVIDE ARR / ALT PRICING FOR POWER / DATA OUTLET
- 504 CONTRACTOR TO PROVIDE ADD / ALT PRICING FOR POWER / DATA OUTLET.

GENERAL PLAN NOTES

1.) SCHEMATIC ELECTRIC PLAN(S), NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/ OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.

- 2.) OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 18" A.F.F. U.N.O.
- 3.) SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.
- 4.) CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.
- 5.) ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
- 6.) THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR DESIGNER PRIOR TO WIRING.
- 7.) THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.
- LÁBEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.

8.) ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE

- 9.) WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
- 10.) THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL INSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS CONTRACT.
- 11.) THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.
- 12.) IN GENERAL, NOT MORE THAN (10) LIGHTING AND/ OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.
- 13.) CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR): GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.
- 14.) LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS,
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- 15.) FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.
- 16.) FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 17.) ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
- 18.) FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PLASTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTACLES.
- 19.) FURNISH AND INSTALL A 3-INCH-DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLASTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 18 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION, TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE
- 20.) CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.
- 21.) THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.
- 22.) UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY, LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.

23.) CONTRACTOR TO VERIFY EX'G. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



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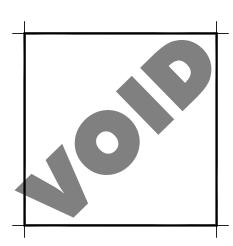
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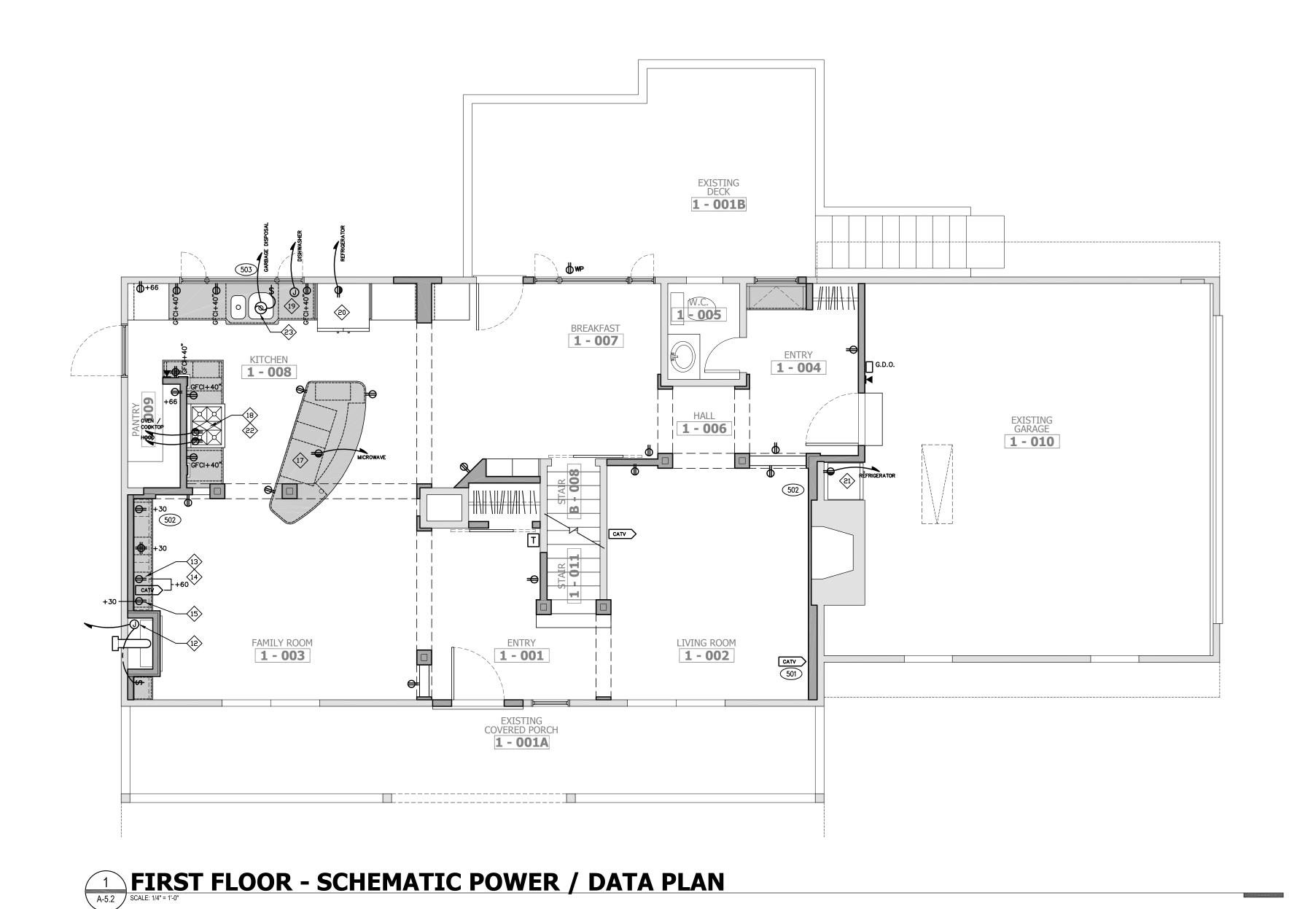
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08.23.2010 CLIENT SUBMISSION
09.30.2010 100% CD / BID SUBMISSION

REVISION DATE

MARK DATE DESCRIPTION



A - 5.1



	ELECTR	ICAL LEGEND			EQUIPMENT S	SCHEDU	LE			
	SYM.	DESCRIPTION	SYM.	DESCRIPTION	NO. LOCATION (RM NO.) ITEM	NOTES	NO. LOCATION (RM NO.) ITEM	NOTES
	\$	SINGLE POLE SWITCH		GARBAGE DISPOSAL	1 OFFICE (B-002)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.	20 KITCHEN (1-008)	REFRIGERATOR	ENERGY STAR? 28.5 Cu. Ft. French—Door Refrigerator
	\$ ₃	3 WAY POLE SWITCH	E	EXISTING ITEM TO REMAIN	2 OFFICE (B-002)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER	21 EX'G GARAGE (1-010)	REFRIGERATOR	RELOCATED
	D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED	3 OFFICE (B-002)	PRINTER	_	22 KITCHEN (1-008)	RANGE HOOD	30" Wall—Mount Hood
	Фз	3 WAY DIMMER SWITCH	⊢—∰ <u>u/c</u> 1	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET	4 OFFICE (B-002)	COPIER	_	23 KITCHEN (1-008)	DISPOSAL	-
	\$ _D	RHEOSTAT		DEDICATED CIRCUIT	5 MECH ROOM (B-008A)	EXISTING FURN	_	24 LAUNDRY (2-005)	WASHER	RELOCATED FROM BASEMENT
	→ R+60"	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.	Ψ	DEDICATED CIRCUIT	6 MECH ROOM (B-008B)	EXISTING H.W.H.	_	25 LAUNDRY (2-005)	DRYER	RELOCATED FROM BASEMENT
	(JUNCTION BOX		FLUSH FLOOR MOUNTED QUAD / PHONE OUTLET.	7 MECH ROOM (B-008B)	EX'G WATER FILTER	R —	26 MASTER BATH (2-003)	HAIRDRYER	-
	CATV	CABLE T.V. OUTLET	= ₩∇	FLOSH FLOOR MOONTED QUAD / PHONE COTLET.	8 OFFICE (B-002)	CABLE T.V. RECIEVER	_			
	H	TEL/DATA OUTLET			9 EXERISE ROOM (B-007B)	T.V.	WALL MOUNTED @ 6'-0" A.F.F.			
	⊢	WALL MOUNTED TELEPHONE OUTLET			10 EXERISE ROOM (B-007B)		CORRDINATE LOCATION W/ OWNER			
	→ R+60"	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.			11 OFFICE (B-002)	CABLE T.V. RECIEVER	_			
		DUPLEX OUTLET			12 FAMILY ROOM (1-003)	GAS FIREPLACE	Regency P33 Sunrise Bronze			
	⊕ _{GFCI}	GROUND-FAULT CIRCUIT INTERRUPTER			13 FAMILY ROOM (1-003)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.			
	⇒ _{AFCI}	ARC-FAULT CIRCUIT INTERRUPTER			14 FAMILY ROOM (1-003)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER			
	→ wp	EXTERIOR WATER-PROOF OUTLET			15 FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	_			
	€#	DUPLEX OUTLET(# INDICATES HGT. A.F.F.)			16 ENTRY (1-001)	DOOR BUZZER	-			
	⊕ _H	DUPLEX OUTLET-MOUNTED HORIZONTALLY			17 KITCHEN (1-008)	MICROWAVE	Advantium? 120V — 30 in. Wall Oven			
	—	QUADRUPLEX OUTLET			18 KITCHEN (1-008)	COOKTOP / OVEN	30" Free—Standing Double Oven Range			
		HALF-SWITCHED OUTLET			19 KITCHEN (1-008)	DISHWASHER	Interior Built—In Dishwasher with Hidden Controls			
_						·				

- 501 RELOCATED CATV OUTLET, AS INDICATED
- 502 CONTRACTOR TO V.I.F. EXISTING OUTLETS, RELOCATE AS REQUIRED BY NEW WORK.
- 503 COORDINATE SWITCHES W/ RCP LIGHTING REQUIREMENTS. PLACEMENT OF SWITCHES TO BE HORIZONTAL
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COUNTY OF PRINCE WILLIAM, VIRGINIA

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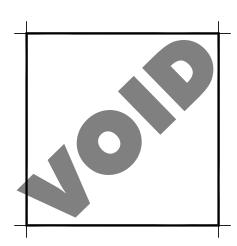
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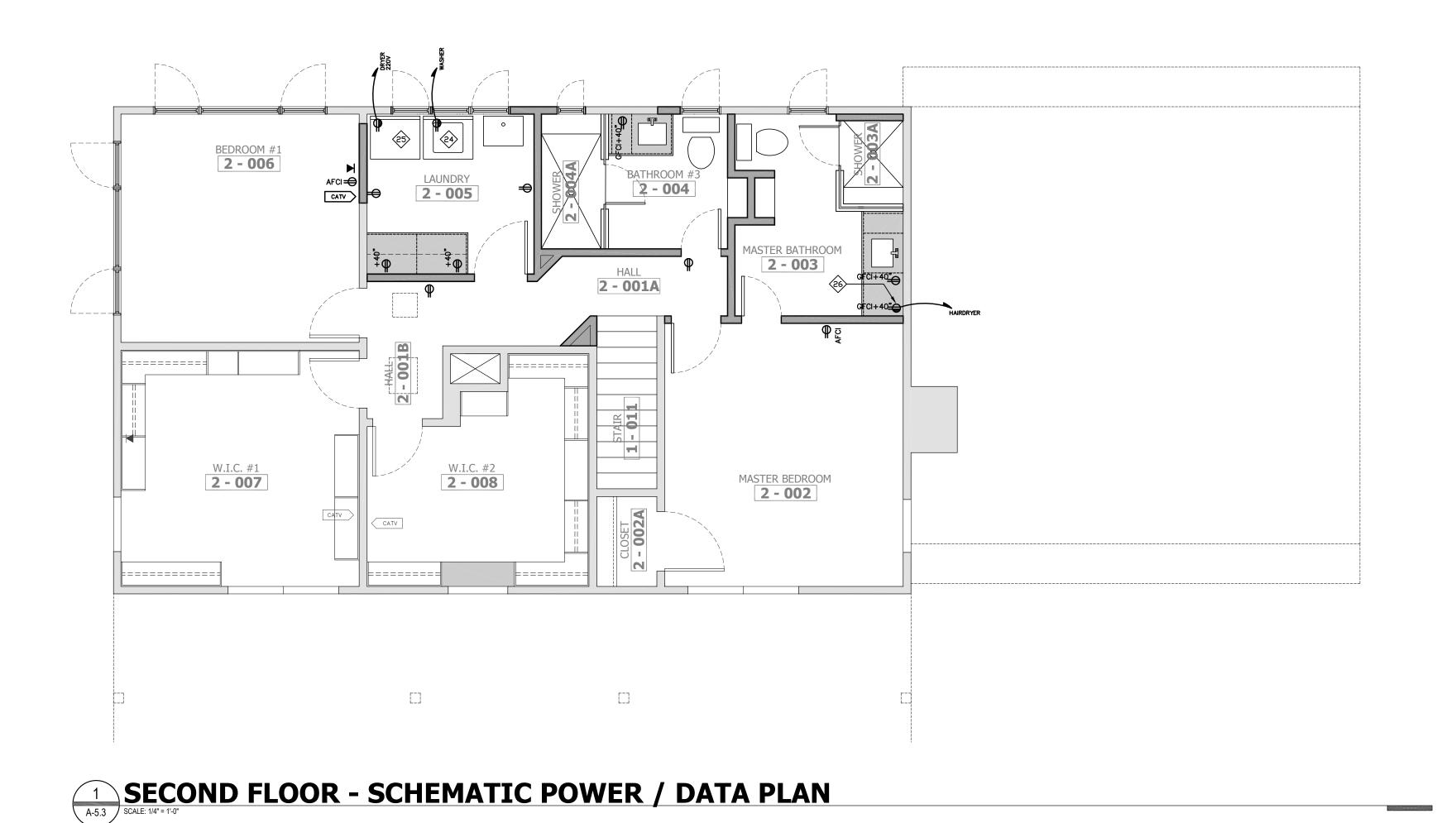
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100% CD / BID SUBMISSION

REVISION DATE
MARK DATE DESCRIPTION



A - 5.2



IELECTR	ICAL LEGEND			EG	QUIPMENT S	CHEDUL	.E			
SYM.	DESCRIPTION	SYM.	DESCRIPTION	NO.	LOCATION (RM NO.)	ITEM	NOTES NO	LOCATION (RM NO	.) ITEM	NOTES
\$	SINGLE POLE SWITCH	•	GARBAGE DISPOSAL	1	OFFICE (B-002)	T.V.	WALL MOUNTED @ 5'-0" A.F.F. 20	KITCHEN (1-008)	REFRIGERATOR	ENERGY STAR? 28.5 Cu. Ft. French—Door Refrigerator
\$ ₃	3 WAY POLE SWITCH	E	EXISTING ITEM TO REMAIN	2	OFFICE (B-002)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER 21	EX'G GARAGE (1-010)	REFRIGERATOR	RELOCATED
D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED	3	OFFICE (B-002)	PRINTER	_ 22	KITCHEN (1-008)	RANGE HOOD	30" Wall—Mount Hood
фз	3 WAY DIMMER SWITCH	⊢ ∰ ^{U/C} 1	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET	4	OFFICE (B-002)	COPIER	_ 23	KITCHEN (1-008)	DISPOSAL	_
\$₀	RHEOSTAT		DEDICATED CIRCUIT	5	MECH ROOM (B-008A)	EXISTING FURN	_ 24	LAUNDRY (2-005)	WASHER	RELOCATED FROM BASEMENT
	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.	\\\\\\	DEDICATED CIRCUIT	6	MECH ROOM (B-008B)	EXISTING H.W.H.	_ 25	LAUNDRY (2-005)	DRYER	RELOCATED FROM BASEMENT
()	JUNCTION BOX		FILICIA FLOOR MOUNTED OLIAR / PUONE OLITIET	7	MECH ROOM (B-008B)	EX'G WATER FILTER	_ 26	MASTER BATH (2-003)	HAIRDRYER	-
CATV	CABLE T.V. OUTLET	- ⊕∇	FLUSH FLOOR MOUNTED QUAD / PHONE OUTLET.	8	OFFICE (B-002)	CABLE T.V. RECIEVER	_			
H	TEL/DATA OUTLET			9	EXERISE ROOM (B-007B)		WALL MOUNTED @ 6'-0" A.F.F.			
H	WALL MOUNTED TELEPHONE OUTLET			10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER			
—— R+60*	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.			11	OFFICE (B-002)	CABLE T.V. RECIEVER	_			
-0	DUPLEX OUTLET			12	FAMILY ROOM (1-003)		Regency P33 Sunrise Bronze			
€GFCI	GROUND-FAULT CIRCUIT INTERRUPTER			13	FAMILY ROOM (1-003)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.			
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₩P	EXTERIOR WATER-PROOF OUTLET			15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	_			
€,	DUPLEX OUTLET(# INDICATES HGT. A.F.F.)			16	ENTRY (1-001)	DOOR BUZZER	_			
=⊖ _н	DUPLEX OUTLET-MOUNTED HORIZONTALLY			17	KITCHEN (1-008)	MICROWAVE	Advantium? 120V — 30 in. Wall Oven			
₩	QUADRUPLEX OUTLET			18	KITCHEN (1-008)	COOKTOP / OVEN	30" Free-Standing Double Oven Range			
-	HALF-SWITCHED OUTLET			19	KITCHEN (1-008)	DISHWASHER	Interior Built—In Dishwasher with Hidden Controls			

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13.) CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR): GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.

14.) LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10 %

15.) FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.

16.) FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.

17.) ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.

18.) FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PLASTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTACLES.

19.) FURNISH AND INSTALL A 3-INCH-DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLASTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 18 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION, TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS.

20.) CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.

21.) THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.

22.) UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY, LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.

23.) CONTRACTOR TO VERIFY EX'G. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



NY COURT - WOODBRIDGE, VIRGINIA 20112
JINTY OF PRINCE WILLIAM, VIRGINIA

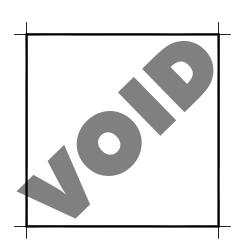
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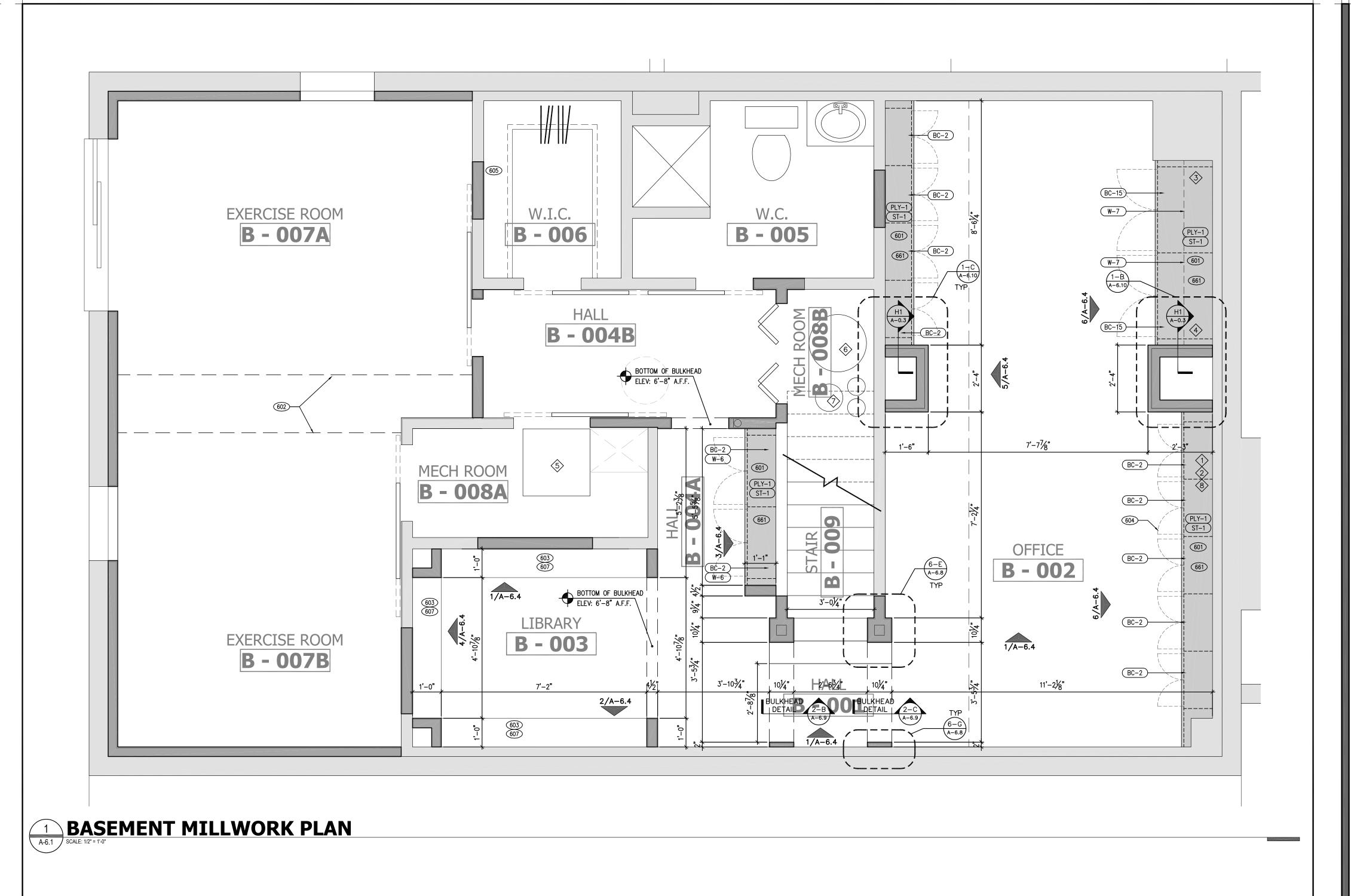
NCARB ARCHITECT - THE USE OF THIS DESIGN / PLANS AND SPECIFICATIONS SHALL BE ALSITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO AND ONE BID BLOCKTHON IN WHACHE OF IN BART IS EXCHIDING.

ISSUE DATE
DATE DESCRIPTION
08.23.2010 CLIENT SUBMISSION
09.30.2010 100% CD / BID SUBMISSION

REVISION DATE
MARK DATE DESCRIPTION



A - 5.3



EQUIP. SCHE	DULE 🐠		F	PLUMBING SC	HEDULE 🕸 C	ABINET SC	CHEDULE (BC-##) BASE CABINET	W-## WALL CABINET PC-	##) PANTRY / UTILITY CABINET			
NO. LOCATION (RM NO.)) ITEM NC). LOCATION (RM NO.)	ITEM	NO. ITEM	no. Item No). MANUFACTURER I	D TYPE	W D H N	IO. MANUFACTURER ID	TYPE	W	D H
1 OFFICE (B-002)	T.V. 23	KITCHEN (1-008)	DISPOSAL	P1 DOUBLE SINK	BC-	1 B_*FWT3024	BASE W/ DBL DOOR W/ FULL TRAY	30" 24" 34-1/2" W	/-2 W	WALL CABINET W/ 2 DOORS	24"	12" 42"
2 OFFICE (B-002)	T.V. WALL MOUNT 24	LAUNDRY (2-005)	WASHER	P2 PULLDAOWN FAUCET	BC-	2 B_*FH2412	BASE W/ DBL DOOR	24" 12" 34-1/2" W	/-3 W	WALL CABINET	15"	12" 42"
3 OFFICE (B-002)	PRINTER 25	LAUNDRY (2-005)	DRYER	P3 SINK	BC-	3 B_*FH3012	BASE W/ DBL DOOR	30" 12" 34-1/2" W	/-4 W	WALL CABINET	24"	12" 18"
4 OFFICE (B-002)	COPIER 26	MASTER BATH (2-003)	HAIRDRYER	P4 FAUCET	BC-	4 B_*2FWT2124	BASE DBL DOOR W/ 2 FULL TRAY	21" 24" 34-1/2" W	/-5 W	WALL CABINET	15"	12" 18"
5 MECH ROOM (B-008A)	EXISTING FURN			P5 SINK	BC-	5 BPP924	BASE PANTRY PULLOUT	9" 24" 34-1/2" W	/-6 W	WALL CABINET	30"	12" 36"
6 MECH ROOM (B-008B)	EXISTING H.W.H.			P6 FAUCET	BC-	6 B924	BASE SINGLE DOOR W/ TRAY DIVIDER	9" 24" 34-1/2" W	/-7 W	WALL CABINET	36"	12" 36"
7 MECH ROOM (B-008B)	EX'G WATER FILTER			P7 CENTRAL THERMOSTAT	BC-	7 B_*FH1812	BASE SINGLE DOOR	18" 12" 34–1/2"				
8 OFFICE (B-002)	CABLE T.V. RECIEVER			P8 SHOWERHEAD	BC-	8 B_*4T3924	BASE DBL DOOR W/ 4 TRAYS	39" 24" 34–1/2"				
9 EXERISE ROOM (B-007B)	T.V.			P9 CENTRAL THERMOSTAT	BC-	9 SBCC3627	SINK BASE W/ CLIPPED CORNERS	36" 27" 34–1/2"				
10 EXERISE ROOM (B-007B)				P10 SHOWERHEAD	BC-	0 BWBT_*2*FH	TOP MOUNT WASTEBASKET FULL HGT.	15" 24" 34–1/2"				
11 OFFICE (B-002)	CABLE T.V. RECIEVER			P11 RELOCATED UTILITY SINK	BC-	I1 BD_*3	BASE W/ 3 DRAWERS	12" 24" 34-1/2"				
12 FAMILY ROOM (1-003)	GAS FIREPLACE			P12 RELOCATED TOILET	BC-	2 BMC2724	BASE MIRCOWAVE W/ DRAWER	27" 24" 34-1/2"				
13 FAMILY ROOM (1-003)	T.V.			P13 RELOCATED TOILET	BC-	3 DB1224	BASE W/ 4 DRAWERS	12" 24" 34-1/2"				
14 FAMILY ROOM (1-003)	T.V. WALL MOUNT				BC-	4 SB2424	VANITY SINK BASE	24" 24" 34-1/2"				
15 FAMILY ROOM (1-003)	CABLE T.V. RECIEVER				BC-	5 B_*FWT3624	BASE W/ DOUBLE DOOR / FULL TRAY	36 24" 34–1/2"				
16 ENTRY (1-001)	DOOR BUZZER				PC-	1 MSP242496	TALL PANTRY	24" 24" 96"				
17 KITCHEN (1-008)	MICROWAVE				PC-	2 UC302496	UTILITY PANTRY	24" 24" 96"				
18 KITCHEN (1-008)	COOKTOP / OVEN				PC-	3 PS242496	TALL PANTRY	24" 24" 96"				
19 KITCHEN (1-008)	DISHWASHER				PC-	4 UC361296	UTILITY PANTRY	36" 12" 96"				
20 KITCHEN (1-008)	REFRIGERATOR				PC-	5 UC241284	UTILITY PANTRY	24" 12" 84"				
21 EX'G GARAGE (1-010)	REFRIGERATOR				RC-	1 RTC392496	REFRIGERATOR PANTRY	39" 24" 96"				
22 KITCHEN (1-008)	RANGE HOOD				W-	ı w	WALL CABINET W/ 2 DOORS	30" 12" 42"				

- KITCHEN COUNTER, VANITY, WORKTCOUNTER, ENTERTAINMENT COUNTER, CABINETS, AND ISLAND LAYOUT IS CONCEPTUAL. ALL CABINET / MILLWORK MUST BE V.I.F. WITH EXISTING CONDITIONS AND NEW WORK DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
- 602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEEL BEAM LOCATION.
- 603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
- **604** INDICATES CABINET DOOR SWING, TYP.
- 605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
- 606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
- 607 ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM WHITE, WITH WHITE SHELF TRACK
- 608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
- 609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
- CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. B
- 610 CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
- 611 PLUMBING WALL
- 612 SEE 6/A-6.9 FOR WINDOW DETAIL.
- 613 WALL BRACKET: IKEA MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
- 614 WALL SHELF; IKEA MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
- 615 WALL BRACKET: IKEA MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
- 616 WALL SHELF; IKEA MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
- PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
- 618 NEW FINISHED OAK, STAINED, TREAD / RISER.
- 619 METAL 1-1/2" CLOSET ROD.
- 620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
- **621** OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
- CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH 622 PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,
- 623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
- 624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
- 625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
- 627 EXISTING WINDOW / DOOR UNIT.

626 SYSTEM BASE, PER MANUFACTURER.

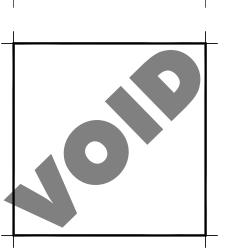
- PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
- 629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
- 630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
- **631** TEMPERED, FRAMELESS GLASS SHOWER.
- **632** SEE 6/A-6.9 FOR WINDOW DETAILS. , NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
- **634** PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
- 636 PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
- 637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTIN
- **638** FINISHED WALL LINE BEHIND.
- 639 STAINED 1x
- 640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.
- 641 1x BLOCKING. 642 2x BLOCKING.
- 643 PROVIDE BLOCKING FOR MILLWORK.
- **644** 1/2" PTD. GYP. BRD.
- 645 C.T., PROVIDE 1/2" BACKER BOARD.
- 646 GLASS TILE, PROVIDE 1/2" BACKER BOARD. **647** SCHEDULED CABINET.
- 648 SCHEDULED COUNTER-TOP.
- **649** EXISTING CONSTRUCTION.
- 650 STAIN GRADE 3/4" PLYWOOD.
- 651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS. 652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 653 MID SPAN BLOCKING.
- **654** MITER MATERIAL @ CORNER.
- 655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS. 656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
- 657 SOFTFORM SWR WALL REVEAL, OR EQUAL.
- 658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.
- 660 PROVIDE (2) 2"ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
- 661 SEE COUNTER-TOP DETAIL 7/A-6.9
- PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
- 663 SHELVING SYSTEM: IKEA MODEL LJUSDAL; 31-1/8" x 7-1/2"
- 664 PROVIDE FILLER PANEL TO MATCH MILLWORK.
- 665 CABINET END PANEL
- CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER STYLE, AND OPTIONS.
- 667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
- 668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS. 669 PROVIDE SEALANT
- 670 WALL SHELF; IKEA MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"

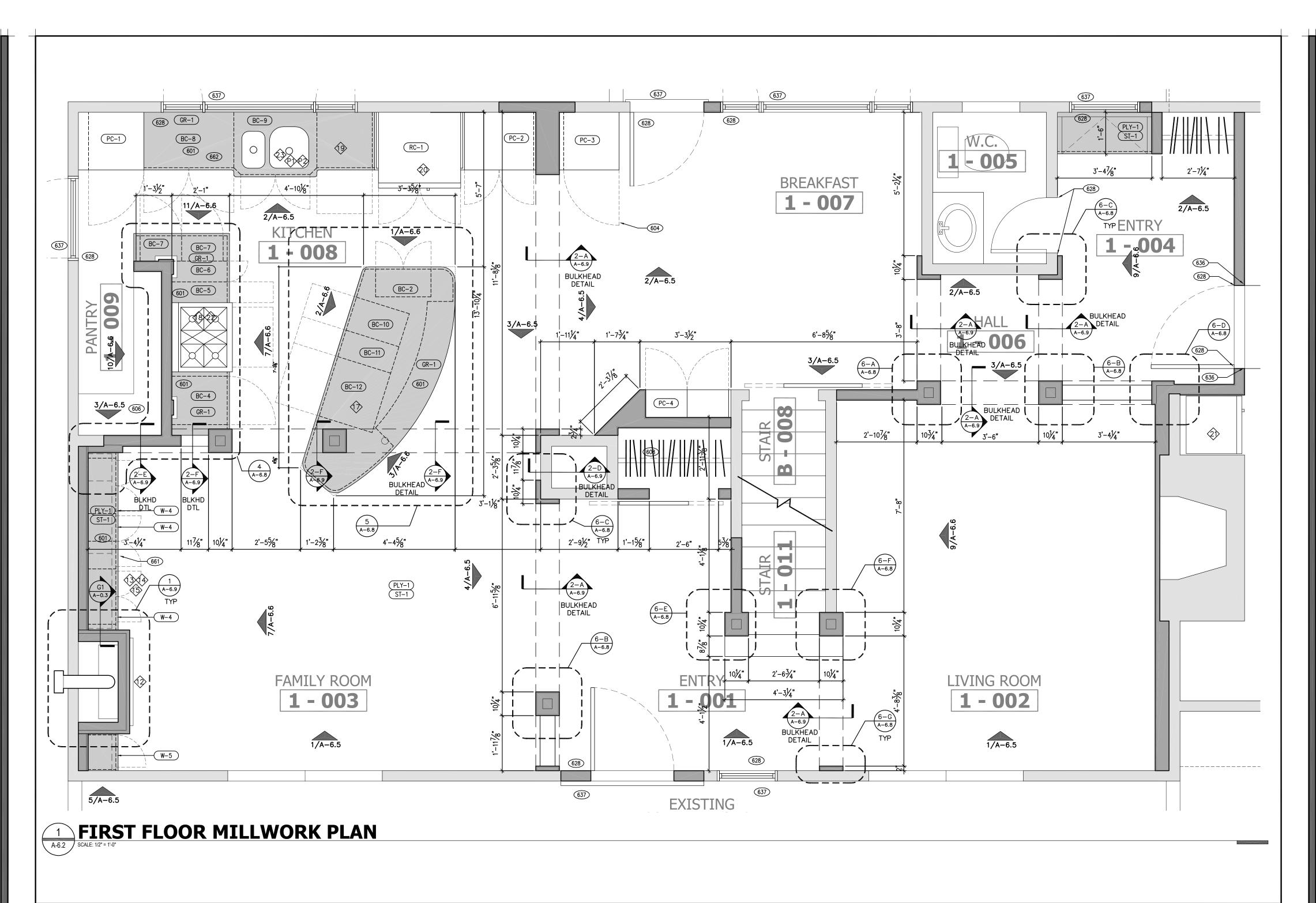


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JACKSON

8.23.2010 CLIENT SUBMISSION 9.30.2010 100% CD / BID SUBMISSION





EG	UIP. SCHEI	DULE 🐠	PLUMBING SCHEDULE 🐵	CABINET SCHEDULE (BC-##) BASE	CABINET W-## WALL CABINET PANTRY / UTILITY CABINET	
NO.	LOCATION (RM NO.)	ITEM NO. LOCATION (RM NO.) ITEM	NO. ITEM NO. ITEM	NO. MANUFACTURER ID TYPE	W D H NO. MANUFACTURER ID TYPE W D	Н
1	OFFICE (B-002)	T.V. 23 KITCHEN (1-008) DISPOSAL	P1 DOUBLE SINK	BC-1 B_*FWT3024 BASE W/ DBL DOOR W/ FULL	TRAY 30" 24" 34-1/2" W-2 W WALL CABINET W/ 2 DOORS 24" 12"	42"
2	OFFICE (B-002)	T.V. WALL MOUNT 24 LAUNDRY (2-005) WASHER	P2 PULLDAOWN FAUCET	BC-2 B_*FH2412 BASE W/ DBL DOOR	24" 12" 34-1/2" W-3 W WALL CABINET 15" 12"	42"
3	OFFICE (B-002)	PRINTER 25 LAUNDRY (2-005) DRYER	P3 SINK	BC-3 B_*FH3012 BASE W/ DBL DOOR	30" 12" 34-1/2" W-4 W WALL CABINET 24" 12"	18"
4	OFFICE (B-002)	COPIER 26 MASTER BATH (2-003) HAIRDRYER	P4 FAUCET	BC-4 B_*2FWT2124 BASE DBL DOOR W/ 2 FULL T	RAY 21" 24" 34-1/2" W-5 W WALL CABINET 15" 12"	18"
5	MECH ROOM (B-008A)	EXISTING FURN	P5 SINK	BC-5 BPP924 BASE PANTRY PULLOUT	9" 24" 34-1/2" W-6 W WALL CABINET 30" 12"	36"
6	MECH ROOM (B-008B)	EXISTING H.W.H.	P6 FAUCET	BC-6 B924 BASE SINGLE DOOR W/ TRAY	DIVIDER 9" 24" 34-1/2" W-7 W WALL CABINET 36" 12"	36"
7	MECH ROOM (B-008B)	EX'G WATER FILTER	P7 CENTRAL THERMOSTAT	BC-7 B_*FH1812 BASE SINGLE DOOR	18" 12" 34–1/2"	
8	OFFICE (B-002)	CABLE T.V. RECIEVER	P8 SHOWERHEAD	BC-8 B_*4T3924 BASE DBL DOOR W/ 4 TRAYS	39" 24" 34–1/2"	
9	EXERISE ROOM (B-007B)		P9 CENTRAL THERMOSTAT	BC-9 SBCC3627 SINK BASE W/ CLIPPED CORNE	ERS 36" 27" 34-1/2"	
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT	P10 SHOWERHEAD	BC-10 BWBT_*2*FH TOP MOUNT WASTEBASKET FUL	L HGT. 15" 24" 34-1/2"	
11	OFFICE (B-002)	CABLE T.V. RECIEVER	P11 RELOCATED UTILITY SINK	BC-11 BD_*3 BASE W/ 3 DRAWERS	12" 24" 34-1/2"	
12	FAMILY ROOM (1-003)	GAS FIREPLACE	P12 RELOCATED TOILET	BC-12 BMC2724 BASE MIRCOWAVE W/ DRAWER	27" 24" 34-1/2"	
13	FAMILY ROOM (1-003)	T.V.	P13 RELOCATED TOILET	BC-13 DB1224 BASE W/ 4 DRAWERS	12" 24" 34-1/2"	
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT		BC-14 SB2424 VANITY SINK BASE	24" 24" 34-1/2"	
15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER		BC-15 B_*FWT3624 BASE W/ DOUBLE DOOR / FUL	LL TRAY 36 24" 34-1/2"	
16	ENTRY (1-001)	DOOR BUZZER		PC-1 MSP242496 TALL PANTRY	24" 24" 96"	
17	KITCHEN (1-008)	MICROWAVE		PC-2 UC302496 UTILITY PANTRY	24" 24" 96"	
18	KITCHEN (1-008)	COOKTOP / OVEN		PC-3 PS242496 TALL PANTRY	24" 24" 96"	
19	KITCHEN (1-008)	DISHWASHER		PC-4 UC361296 UTILITY PANTRY	36" 12" 96"	
20	KITCHEN (1-008)	REFRIGERATOR		PC-5 UC241284 UTILITY PANTRY	24" 12" 84"	
21	EX'G GARAGE (1-010)	REFRIGERATOR		RC-1 RTC392496 REFRIGERATOR PANTRY	39" 24" 96"	
22	KITCHEN (1-008)	RANGE HOOD		W-1 W WALL CABINET W/ 2 DOORS	30" 12" 42"	

- AND ISLAND LAYOUT IS CONCEPTUAL. ALL CABINET / MILLWORK MUST BE V.I.F. WITH EXISTING CONDITIONS AND NEW WORK DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
- 602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEE BEAM LOCATION.
- 603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
- 604 INDICATES CABINET DOOR SWING, TYP.
- 605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
- 606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
- ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM WHITE, WITH WHITE SHELF TRACK
- 608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
- 609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
- CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. B 610 CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
- 611 PLUMBING WALL
- 612 SEE 6/A-6.9 FOR WINDOW DETAIL.
- 613 | WALL BRACKET: IKEA MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
- 614 WALL SHELF; IKEA MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
- 615 WALL BRACKET: IKEA MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
- 616 WALL SHELF; IKEA MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
- PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
- 618 NEW FINISHED OAK, STAINED, TREAD / RISER.
- **619** METAL 1-1/2" CLOSET ROD.
- 620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
- 621 OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
- CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH 622 PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,
- 623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
- 624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
- 625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
- 626 SYSTEM BASE, PER MANUFACTURER.
- 627 EXISTING WINDOW / DOOR UNIT.
- REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.

PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME.

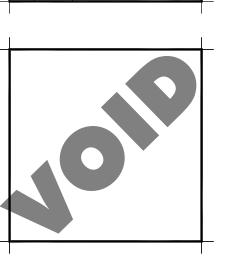
- 629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY. 630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
- **631** TEMPERED, FRAMELESS GLASS SHOWER.
- **632** SEE 6/A-6.9 FOR WINDOW DETAILS.
- NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT
- SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
- **634** PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
- **636** PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
- 637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING
- **638** FINISHED WALL LINE BEHIND.
- 639 STAINED 1x
- 640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.
- 641 1x BLOCKING. 642 2x BLOCKING.
- 643 PROVIDE BLOCKING FOR MILLWORK.
- **644** 1/2" PTD. GYP. BRD.
- 645 C.T., PROVIDE 1/2" BACKER BOARD.
- 646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.
- **647** SCHEDULED CABINET.
- 648 SCHEDULED COUNTER-TOP.
- **649** EXISTING CONSTRUCTION.
- 650 STAIN GRADE 3/4" PLYWOOD. 651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.
- 652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 653 MID SPAN BLOCKING.
- **654** MITER MATERIAL @ CORNER.
- 655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.
- 656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
- 657 SOFTFORM SWR WALL REVEAL, OR EQUAL.
- 658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.
- 660 PROVIDE (2) 2"ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
- 661 SEE COUNTER-TOP DETAIL 7/A-6.9
- PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
- 663 SHELVING SYSTEM: IKEA MODEL LJUSDAL; 31-1/8" x 7-1/2"
- 664 PROVIDE FILLER PANEL TO MATCH MILLWORK.
- 665 CABINET END PANEL CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER
- STYLE, AND OPTIONS.
- 667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
- 668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS.
- 669 PROVIDE SEALANT
- 670 WALL SHELF; IKEA MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"

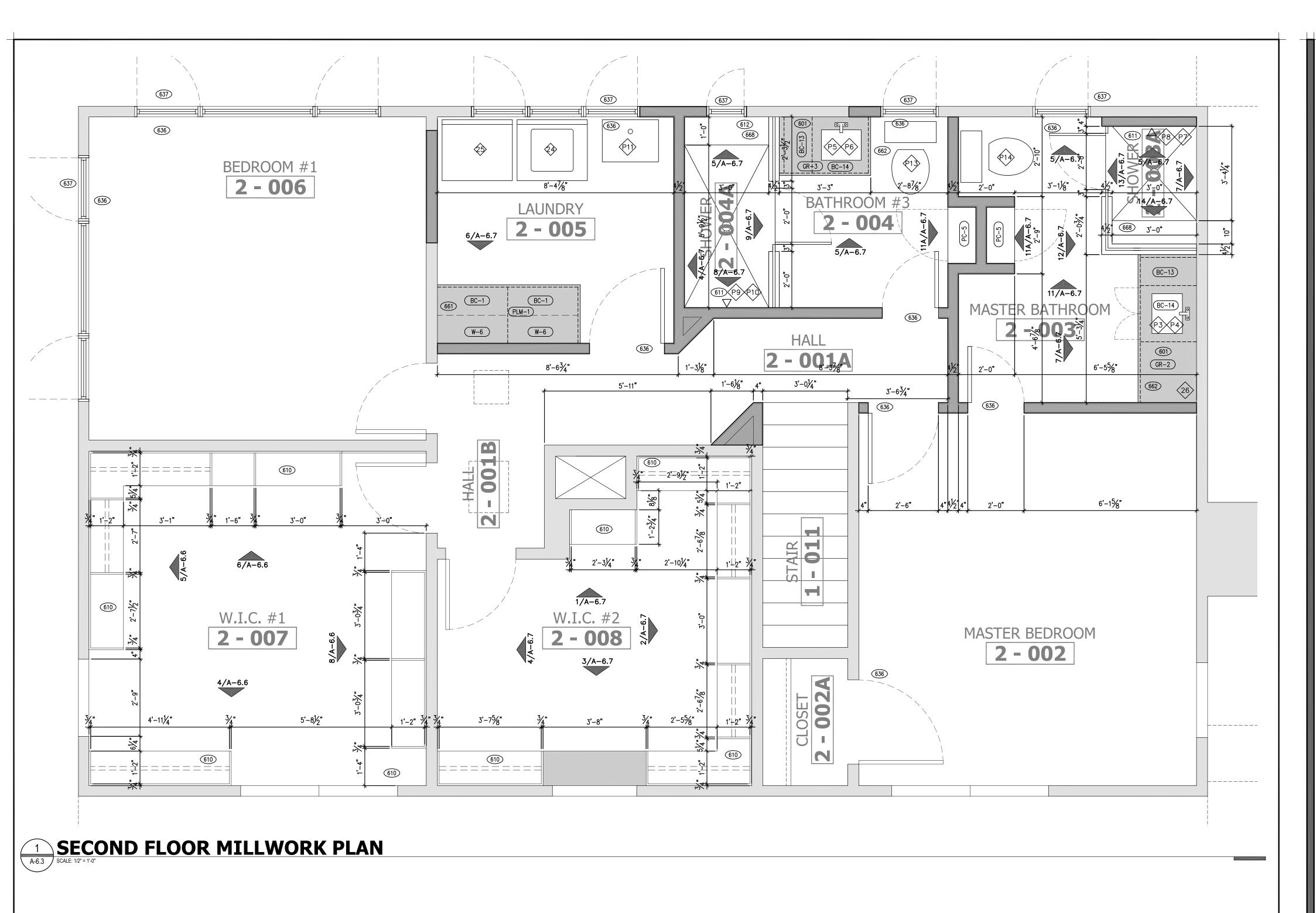


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EQUIP. SCHE	DULE 🐠				PLUMBING SC	CHEDULE 🐵 C	ABINET SCH	HEDULE (BC-##) BASE CABINET	W-## WALL CABINET PC-## PANTRY / UTILITY CABINET				
NO. LOCATION (RM NO.) ITEM	NO.	LOCATION (RM NO.)	ITEM	NO. ITEM		. MANUFACTURER ID		W D H NO. MANUFACTURER ID	TYPE	W	D	Н
1 OFFICE (B-002)	T.V.	23	KITCHEN (1-008)	DISPOSAL	P1 DOUBLE SINK	BC-	B_*FWT3024	BASE W/ DBL DOOR W/ FULL TRAY	30" 24" 34-1/2" W-2 W	WALL CABINET W/ 2 DOORS	24"	12"	42"
2 OFFICE (B-002)	T.V. WALL MOUNT	24	LAUNDRY (2-005)	WASHER	P2 PULLDAOWN FAUCET	BC-:	B_*FH2412	BASE W/ DBL DOOR	24" 12" 34-1/2" W-3 W	WALL CABINET	15"	12"	42"
3 OFFICE (B-002)	PRINTER	25	LAUNDRY (2-005)	DRYER	P3 SINK	BC-	B_*FH3012	BASE W/ DBL DOOR	30" 12" 34–1/2" W–4 W	WALL CABINET	24"	12"	18"
4 OFFICE (B-002)	COPIER	26	MASTER BATH (2-003)	HAIRDRYER	P4 FAUCET	BC-	B_*2FWT2124	BASE DBL DOOR W/ 2 FULL TRAY	21" 24" 34-1/2" W-5 W	WALL CABINET	15"	12"	18"
5 MECH ROOM (B-008A)	EXISTING FURN				P5 SINK	BC-	BPP924	BASE PANTRY PULLOUT	9" 24" 34-1/2" W-6 W	WALL CABINET	30"	12"	36"
6 MECH ROOM (B-008B)	EXISTING H.W.H.				P6 FAUCET	BC-0	B924	BASE SINGLE DOOR W/ TRAY DIVIDER	9" 24" 34-1/2" W-7 W	WALL CABINET	36"	12"	36"
7 MECH ROOM (B-008B)	EX'G WATER FILTER				P7 CENTRAL THERMOSTAT	BC-	B_*FH1812	BASE SINGLE DOOR	18" 12" 34–1/2"				
8 OFFICE (B-002)	CABLE T.V. RECIEVER				P8 SHOWERHEAD	BC-4	B_*4T3924	BASE DBL DOOR W/ 4 TRAYS	39" 24" 34–1/2"				
9 EXERISE ROOM (B-007B)	T.V.				P9 CENTRAL THERMOSTAT	BC-	SBCC3627	SINK BASE W/ CLIPPED CORNERS	36" 27" 34–1/2"				
10 EXERISE ROOM (B-007B)					P10 SHOWERHEAD	BC-1	BWBT_*2*FH	TOP MOUNT WASTEBASKET FULL HGT.	15" 24" 34-1/2"				
11 OFFICE (B-002)	CABLE T.V. RECIEVER				P11 RELOCATED UTILITY SINK	BC-1	1 BD_*3	BASE W/ 3 DRAWERS	12" 24" 34-1/2"				
12 FAMILY ROOM (1-003)	GAS FIREPLACE				P12 RELOCATED TOILET	BC-1	BMC2724	BASE MIRCOWAVE W/ DRAWER	27" 24" 34-1/2"				
13 FAMILY ROOM (1-003)	T.V.				P13 RELOCATED TOILET	BC-1	3 DB1224	BASE W/ 4 DRAWERS	12" 24" 34-1/2"				
14 FAMILY ROOM (1-003)	T.V. WALL MOUNT					BC-1	SB2424	VANITY SINK BASE	24" 24" 34-1/2"				
15 FAMILY ROOM (1-003)	CABLE T.V. RECIEVER					BC-1	5 B_*FWT3624	BASE W/ DOUBLE DOOR / FULL TRAY	36 24" 34–1/2"				
16 ENTRY (1-001)	DOOR BUZZER					PC-	MSP242496	TALL PANTRY	24" 24" 96"				
17 KITCHEN (1-008)	MICROWAVE					PC-:	UC302496	UTILITY PANTRY	24" 24" 96"				
18 KITCHEN (1-008)	COOKTOP / OVEN					PC-	PS242496	TALL PANTRY	24" 24" 96"				
19 KITCHEN (1-008)	DISHWASHER					PC-	UC361296	UTILITY PANTRY	36" 12" 96"				
20 KITCHEN (1-008)	REFRIGERATOR					PC-	UC241284	UTILITY PANTRY	24" 12" 84"				
21 EX'G GARAGE (1-010)	REFRIGERATOR					RC-	RTC392496	REFRIGERATOR PANTRY	39" 24" 96"				
22 KITCHEN (1-008)	RANGE HOOD					W-1	w	WALL CABINET W/ 2 DOORS	30" 12" 42"				

- EXISTING CONDITIONS AND NEW WORK DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
- PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEE BEAM LOCATION.
- 603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
- 604 INDICATES CABINET DOOR SWING, TYP.
- 605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
- 606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
- ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM WHITE, WITH WHITE SHELF TRACK
- 608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
- 609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
- CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. E 610 CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
- 612 SEE 6/A-6.9 FOR WINDOW DETAIL.
- 613 WALL BRACKET: IKEA MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
- 614 WALL SHELF; IKEA MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
- 615 WALL BRACKET: IKEA MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
- 616 WALL SHELF; IKEA MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
- PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
- 618 NEW FINISHED OAK, STAINED, TREAD / RISER.
- **619** METAL 1-1/2" CLOSET ROD.
- 620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
- **621** OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
- CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH 622 PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,
- 623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
- 624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
- 625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
- 626 SYSTEM BASE, PER MANUFACTURER.
- 627 EXISTING WINDOW / DOOR UNIT.
- PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
- 629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
- 630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
- **631** TEMPERED, FRAMELESS GLASS SHOWER. **632** SEE 6/A-6.9 FOR WINDOW DETAILS.
- NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
- **634** PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
- **636** PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
- 637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING
- 639 STAINED 1x
- 640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.
- 641 1x BLOCKING. 642 2x BLOCKING.
- 643 PROVIDE BLOCKING FOR MILLWORK. **644** 1/2" PTD. GYP. BRD.
- 645 C.T., PROVIDE 1/2" BACKER BOARD.
- 646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.
- **647** SCHEDULED CABINET.
- 648 SCHEDULED COUNTER-TOP.
- **649** EXISTING CONSTRUCTION.
- 650 STAIN GRADE 3/4" PLYWOOD. 651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.
- 652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 653 MID SPAN BLOCKING.
- **654** MITER MATERIAL @ CORNER.
- 655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.
- 656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
- 657 SOFTFORM SWR WALL REVEAL, OR EQUAL.
- 658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.
- 660 PROVIDE (2) 2"ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
- 661 SEE COUNTER-TOP DETAIL 7/A-6.9
- PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
- 663 SHELVING SYSTEM: IKEA MODEL LJUSDAL; 31-1/8" x 7-1/2"
- 664 PROVIDE FILLER PANEL TO MATCH MILLWORK. 665 CABINET END PANEL
- CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER
- STYLE, AND OPTIONS.
- 667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
- 668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS.
- 669 PROVIDE SEALANT
- 670 WALL SHELF; IKEA MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"

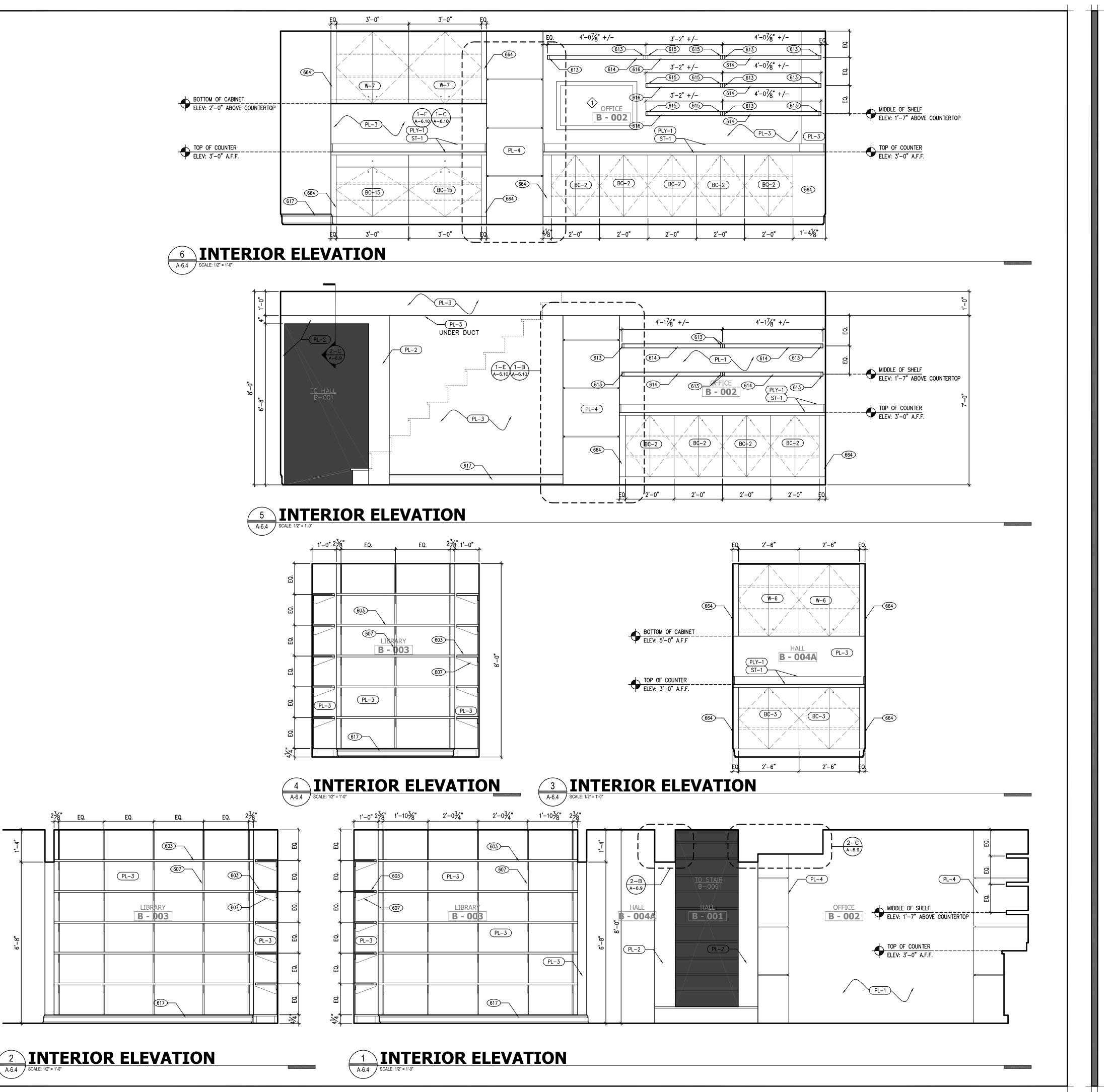
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SECOND FLOOR MILLWORK PLAN



602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STE

BEAM LOCATION.

603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.

604 INDICATES CABINET DOOR SWING, TYP.

605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.

606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.

607 ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK

608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.

609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.

CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. I 610 CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.

611 PLUMBING WALL

612 SEE 6/A-6.9 FOR WINDOW DETAIL.

613 | WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.

614 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"

615 WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING. 616 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"

PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.

618 NEW FINISHED OAK, STAINED, TREAD / RISER.

619 METAL 1-1/2" CLOSET ROD.

620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.

621 OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING. CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH

622 PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,

623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.

624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.

625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.

626 SYSTEM BASE, PER MANUFACTURER. 627 EXISTING WINDOW / DOOR UNIT.

PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.

629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.

630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.

631 TEMPERED, FRAMELESS GLASS SHOWER. **632** SEE 6/A-6.9 FOR WINDOW DETAILS.

NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.

634 PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.

636 PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.

637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING

638 FINISHED WALL LINE BEHIND.

639 STAINED 1x

640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.

641 1x BLOCKING.

642 2x BLOCKING.

643 PROVIDE BLOCKING FOR MILLWORK.

644 1/2" PTD. GYP. BRD.

645 C.T., PROVIDE 1/2" BACKER BOARD.

646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.

647 SCHEDULED CABINET.

648 SCHEDULED COUNTER-TOP.

649 EXISTING CONSTRUCTION.

650 STAIN GRADE 3/4" PLYWOOD. 651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.

652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

653 MID SPAN BLOCKING.

654 MITER MATERIAL @ CORNER.

655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.

656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.

657 SOFTFORM SWR WALL REVEAL, OR EQUAL.

658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.

660 PROVIDE (2) 2"Ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.

661 SEE COUNTER-TOP DETAIL 7/A-6.9

PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9

663 SHELVING SYSTEM: IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"

664 PROVIDE FILLER PANEL TO MATCH MILLWORK. 665 CABINET END PANEL

STYLE, AND OPTIONS.

CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER

667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.

668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS. 669 PROVIDE SEALANT

670 WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"

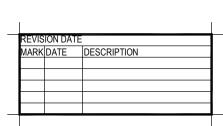


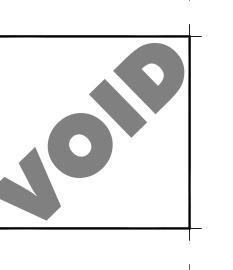
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INTERIOR







602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEE

BEAM LOCATION.

603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.

604 INDICATES CABINET DOOR SWING, TYP.

605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.

606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.

ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK

608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.

CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. E 610 CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION.

PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL. 611 PLUMBING WALL

612 SEE 6/A-6.9 FOR WINDOW DETAIL.

609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.

613 | WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.

614 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"

615 | WALL BRACKET: IKEA — MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.

616 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"

PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.

618 NEW FINISHED OAK, STAINED, TREAD / RISER.

619 METAL 1-1/2" CLOSET ROD.

620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.

621 OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.

CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH **622** PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,

623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.

624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.

625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.

626 SYSTEM BASE, PER MANUFACTURER. 627 EXISTING WINDOW / DOOR UNIT.

> |PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.

629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY

630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.

631 TEMPERED, FRAMELESS GLASS SHOWER. **632** SEE 6/A-6.9 FOR WINDOW DETAILS.

, NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.

634 PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.

636 PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.

637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING

638 FINISHED WALL LINE BEHIND.

639 STAINED 1x

640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.

641 1x BLOCKING.

642 2x BLOCKING. 643 PROVIDE BLOCKING FOR MILLWORK.

644 1/2" PTD. GYP. BRD.

645 C.T., PROVIDE 1/2" BACKER BOARD.

646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.

647 SCHEDULED CABINET.

648 SCHEDULED COUNTER-TOP.

649 EXISTING CONSTRUCTION.

650 STAIN GRADE 3/4" PLYWOOD. 651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.

652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

653 MID SPAN BLOCKING. **654** MITER MATERIAL @ CORNER.

655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.

656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.

657 SOFTFORM SWR WALL REVEAL, OR EQUAL.

658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.

660 PROVIDE (2) 2"Ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.

661 SEE COUNTER-TOP DETAIL 7/A-6.9

PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9

663 SHELVING SYSTEM: IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"

664 PROVIDE FILLER PANEL TO MATCH MILLWORK.

665 CABINET END PANEL CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER

667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.

668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS.

STYLE, AND OPTIONS.

669 PROVIDE SEALANT 670 WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



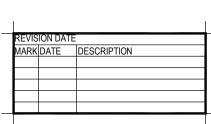
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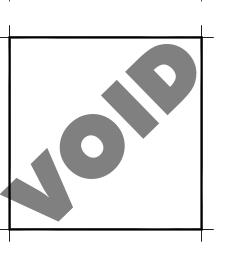
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602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STE BEAM LOCATION.

603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.

604 INDICATES CABINET DOOR SWING, TYP.

609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.

605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.

606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.

607 ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK

608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.

CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. E **610** CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION.

611 PLUMBING WALL

612 SEE 6/A-6.9 FOR WINDOW DETAIL.

613 WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.

PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.

614 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"

615 WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.

616 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2" PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING

618 NEW FINISHED OAK, STAINED, TREAD / RISER.

619 METAL 1-1/2" CLOSET ROD.

LOCATIONS AS INDICATED.

620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.

621 OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.

CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH **622** PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,

623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.

624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.

625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.

626 SYSTEM BASE, PER MANUFACTURER.

627 EXISTING WINDOW / DOOR UNIT.

PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.

629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY

630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.

631 TEMPERED, FRAMELESS GLASS SHOWER. **632** SEE 6/A-6.9 FOR WINDOW DETAILS.

NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.

634 PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.

636 PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.

637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING

638 FINISHED WALL LINE BEHIND.

639 STAINED 1x

635 PTD. 1x

640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.

641 1x BLOCKING.

642 2x BLOCKING.

643 PROVIDE BLOCKING FOR MILLWORK. **644** 1/2" PTD. GYP. BRD.

645 C.T., PROVIDE 1/2" BACKER BOARD.

646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.

647 SCHEDULED CABINET.

648 SCHEDULED COUNTER-TOP.

649 EXISTING CONSTRUCTION. 650 STAIN GRADE 3/4" PLYWOOD.

651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS

652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

653 MID SPAN BLOCKING.

654 MITER MATERIAL @ CORNER.

655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.

656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.

657 SOFTFORM SWR WALL REVEAL, OR EQUAL.

658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.

660 PROVIDE (2) 2"ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.

661 SEE COUNTER-TOP DETAIL 7/A-6.9

662 PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9

663 SHELVING SYSTEM: IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"

664 PROVIDE FILLER PANEL TO MATCH MILLWORK.

CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER

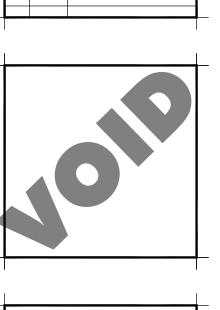
667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.

668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS. 669 PROVIDE SEALANT

665 CABINET END PANEL

STYLE, AND OPTIONS.

670 WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



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602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STE BEAM LOCATION.

603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.

604 INDICATES CABINET DOOR SWING, TYP.

605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.

606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH

607 ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK

608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.

609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.

CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. **610** CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION.

PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.

611 PLUMBING WALL

612 SEE 6/A-6.9 FOR WINDOW DETAIL.

613 WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.

614 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"

615 | WALL BRACKET: IKEA — MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.

616 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"

PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.

618 NEW FINISHED OAK, STAINED, TREAD / RISER.

619 | METAL 1-1/2" CLOSET ROD.

620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.

621 OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.

CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH 622 PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,

PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME.

REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.

623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.

624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.

625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.

626 SYSTEM BASE, PER MANUFACTURER.

627 EXISTING WINDOW / DOOR UNIT.

629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY

630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.

631 TEMPERED, FRAMELESS GLASS SHOWER. **632** SEE 6/A-6.9 FOR WINDOW DETAILS.

NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.

634 PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.

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638 FINISHED WALL LINE BEHIND.

639 STAINED 1x

640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.

641 1x BLOCKING. 642 2x BLOCKING.

643 PROVIDE BLOCKING FOR MILLWORK.

644 1/2" PTD. GYP. BRD.

645 C.T., PROVIDE 1/2" BACKER BOARD.

646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.

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648 SCHEDULED COUNTER-TOP.

649 EXISTING CONSTRUCTION.

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652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

653 MID SPAN BLOCKING.

654 MITER MATERIAL @ CORNER.

655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.

656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL. 657 SOFTFORM SWR WALL REVEAL, OR EQUAL.

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660 PROVIDE (2) 2"ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.

661 SEE COUNTER-TOP DETAIL 7/A-6.9

PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9

663 SHELVING SYSTEM: IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"

664 PROVIDE FILLER PANEL TO MATCH MILLWORK.

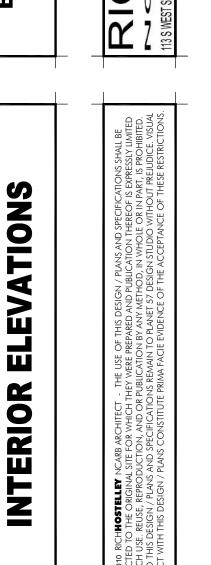
665 CABINET END PANEL

CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER STYLE, AND OPTIONS.

667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.

668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS. 669 PROVIDE SEALANT

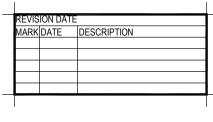
670 WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"

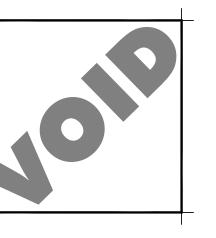


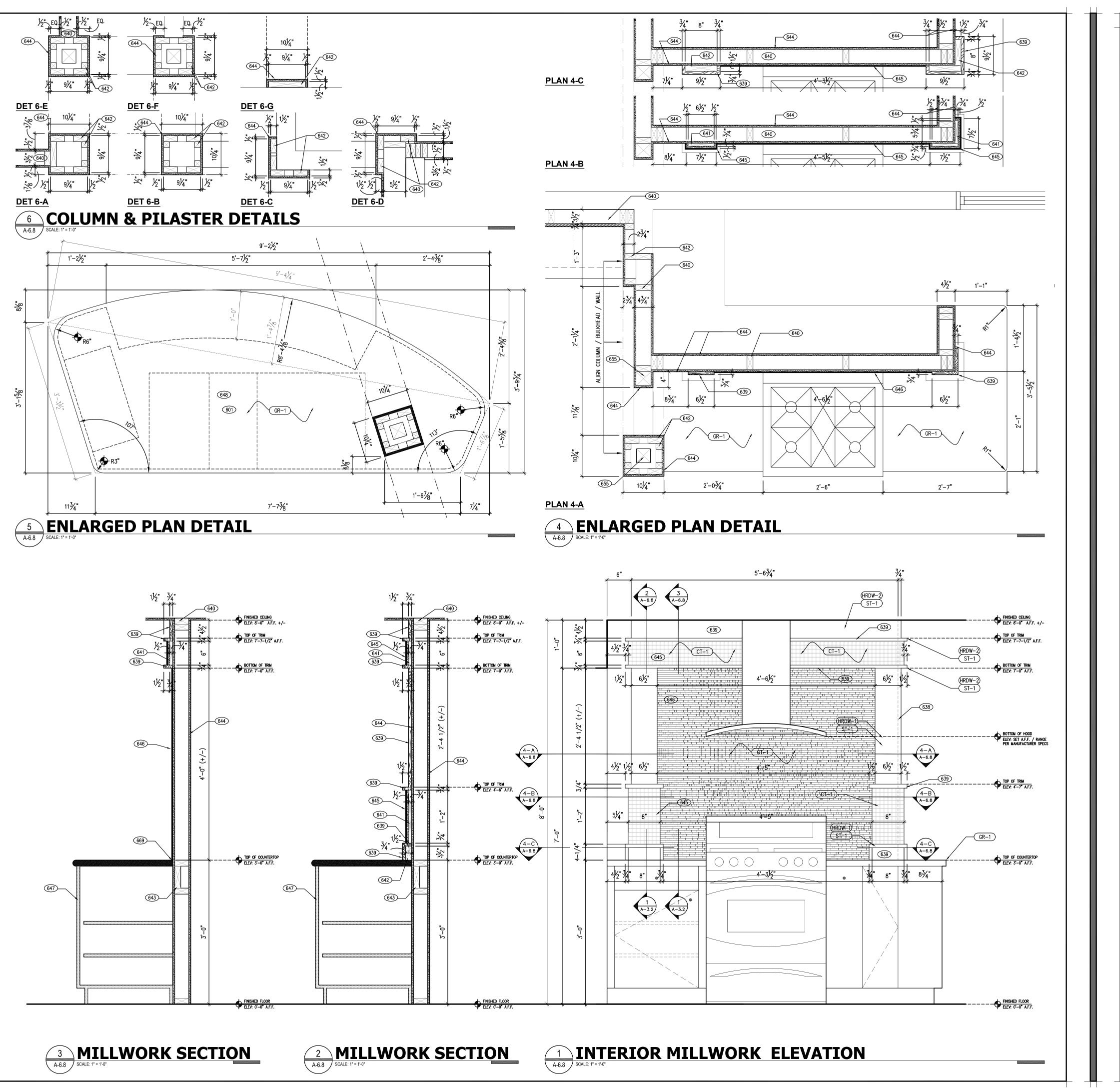
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602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEE

BEAM LOCATION.

603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.

604 INDICATES CABINET DOOR SWING, TYP.

605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.

606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH

607 ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK

608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.

609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.

CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. **610** CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.

611 PLUMBING WALL

612 SEE 6/A-6.9 FOR WINDOW DETAIL.

613 | WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.

614 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"

615 WALL BRACKET: IKEA — MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.

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PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING

LOCATIONS AS INDICATED. 618 NEW FINISHED OAK, STAINED, TREAD / RISER.

619 METAL 1-1/2" CLOSET ROD.

620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.

621 OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.

CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH **| 622** | PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS,

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663 SHELVING SYSTEM: IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"

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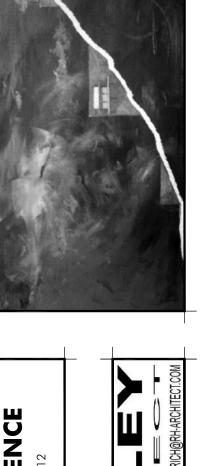
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667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.

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669 PROVIDE SEALANT 670 WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



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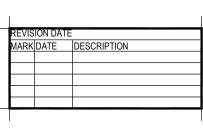
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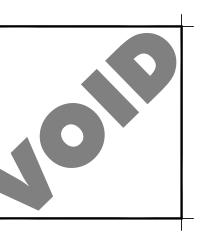
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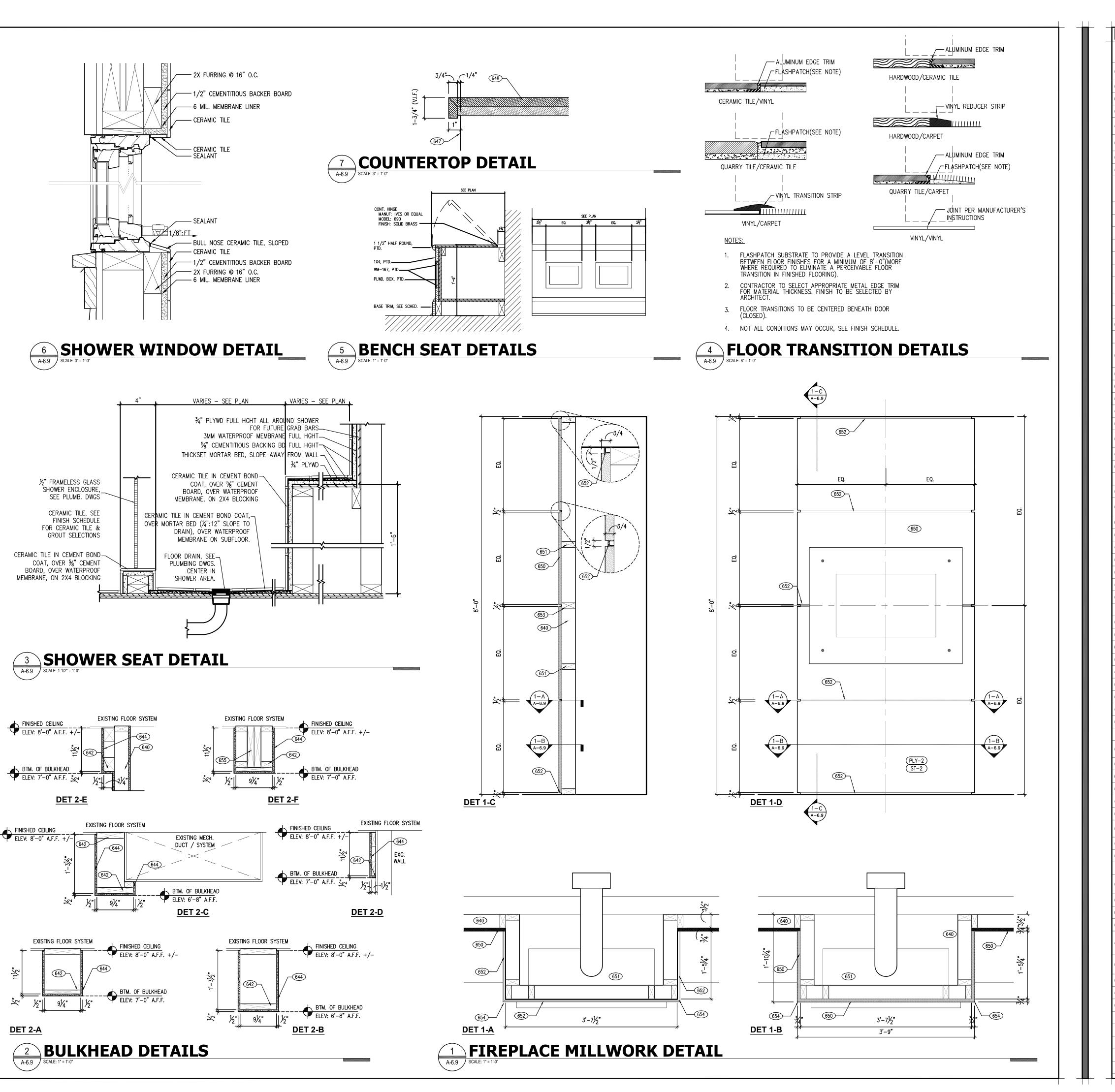
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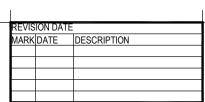


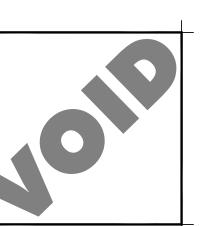
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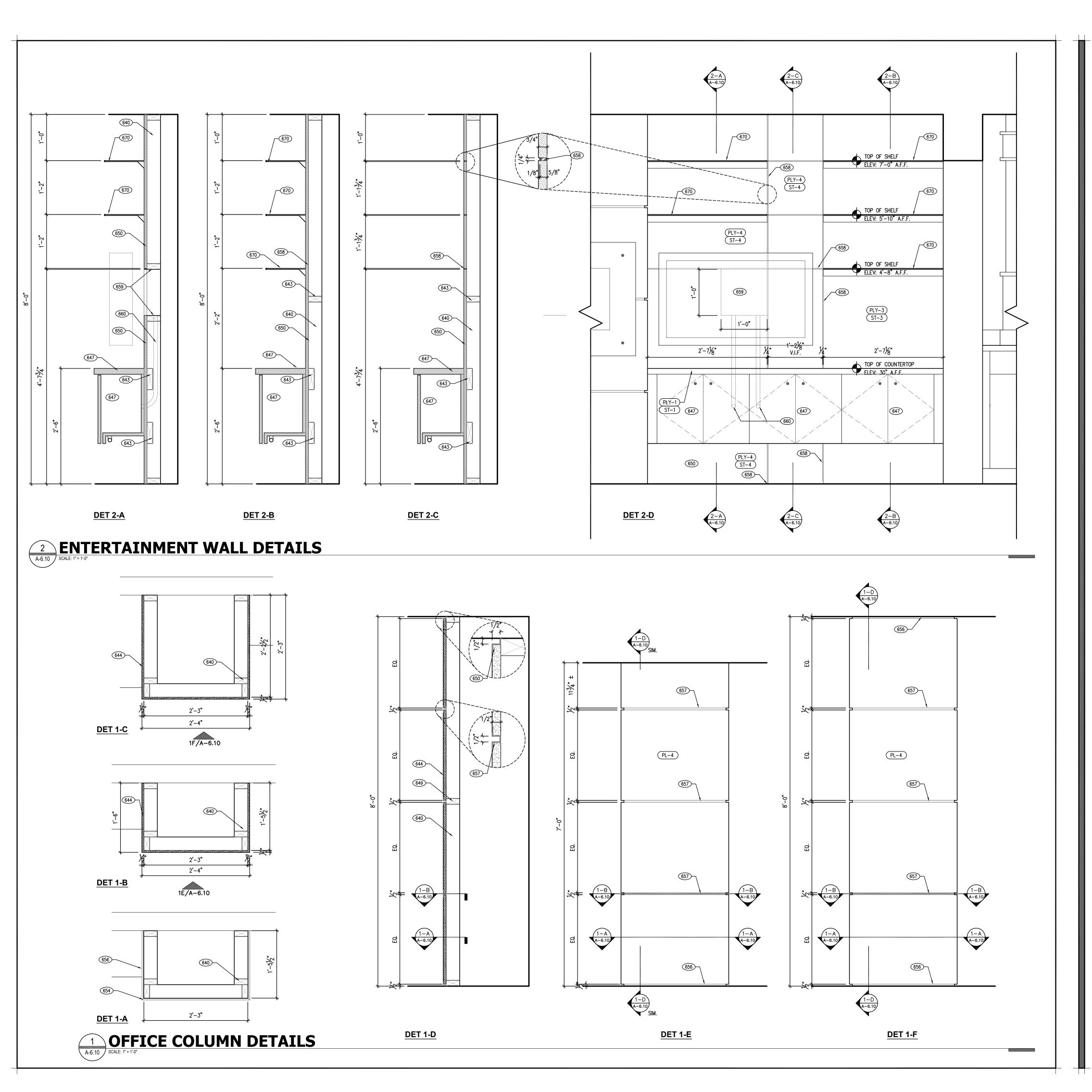


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3.2010 CLIENT SUBMISSION 30.2010 100% CD / BID SUBMISSION







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636 PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.

637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING

638 FINISHED WALL LINE BEHIND.

639 STAINED 1x

640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.

641 1x BLOCKING.

642 2x BLOCKING.

643 PROVIDE BLOCKING FOR MILLWORK. **644** 1/2" PTD. GYP. BRD.

645 C.T., PROVIDE 1/2" BACKER BOARD.

646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.

647 SCHEDULED CABINET.

648 SCHEDULED COUNTER-TOP.

649 EXISTING CONSTRUCTION.

650 STAIN GRADE 3/4" PLYWOOD.

651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.

652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

653 MID SPAN BLOCKING.

654 MITER MATERIAL @ CORNER.

655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.

656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.

657 SOFTFORM SWR WALL REVEAL, OR EQUAL.

658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.

659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.

660 PROVIDE (2) 2"Ø PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.

661 SEE COUNTER-TOP DETAIL 7/A-6.9

662 PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9

663 SHELVING SYSTEM: IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"

664 PROVIDE FILLER PANEL TO MATCH MILLWORK. 665 CABINET END PANEL

STYLE, AND OPTIONS.

CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, 666 AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER

667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.

668 SEE DETAIL ?/?? FOR SHOWER / SEAT DETAILS. 669 PROVIDE SEALANT

670 WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



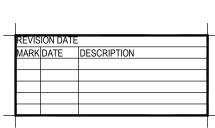
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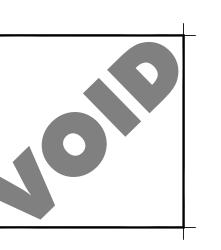
JACKSON

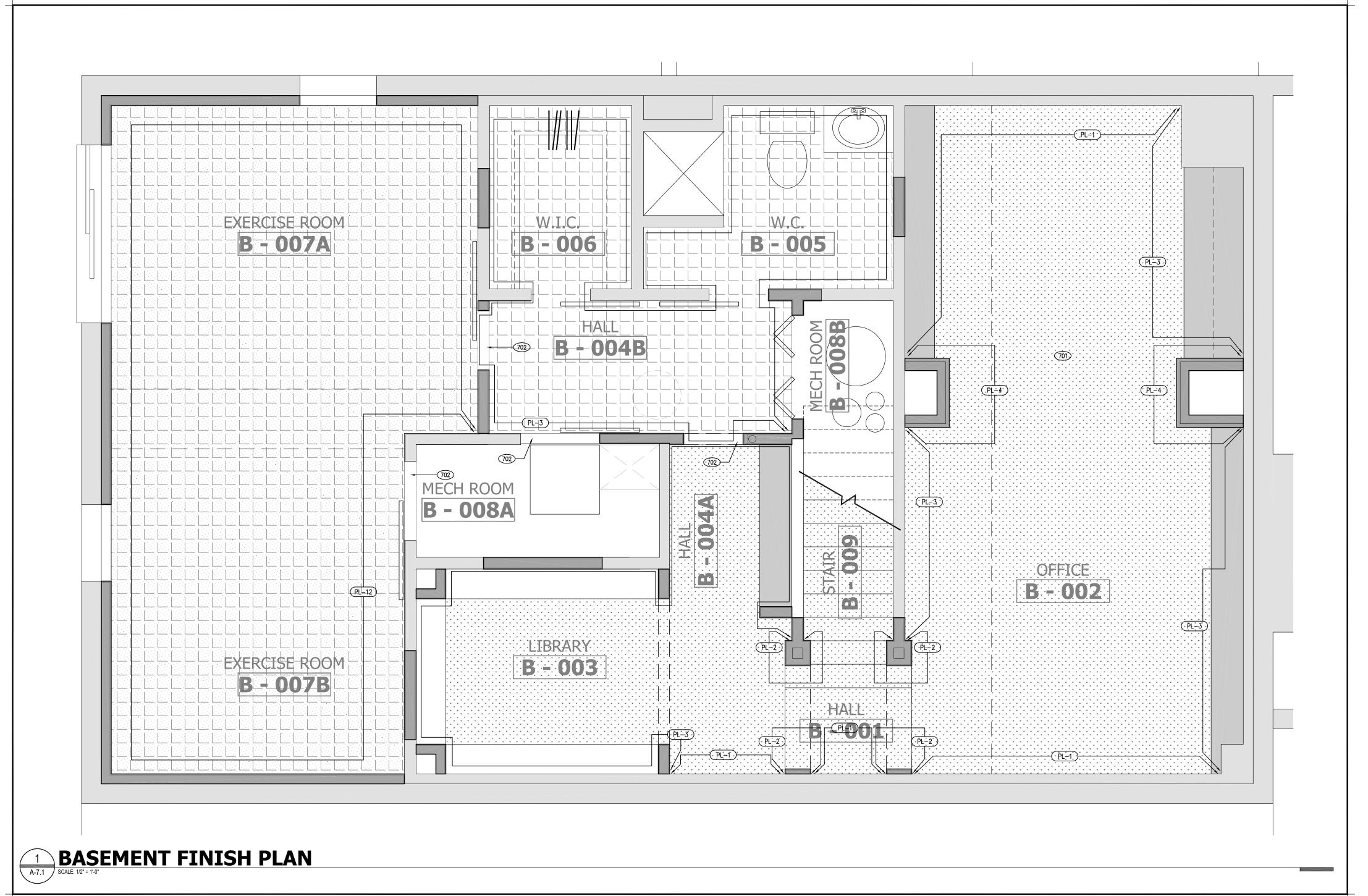
ATIO DETA

INTERIOR ELEV

3.2010 CLIENT SUBMISSION 30.2010 100% CD / BID SUBMISSION







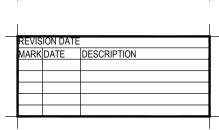
ΙAΤ	ERIAL SCHI	EDULE													LEGEND
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EXG-1	EXISTING		PL-8	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-1	VINYL COMPOSITE TILE	T.B.D.	T-1	WOOD TRIM	MATCH EXISTING	QT-4	QUARRY TILE	T.B.D.	CPT-
HWF-1	HARDWOOD FLOORING	T&G SELECT CHERRY STRIP FLOORING	PL-9	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-2	VINYL COMPOSITE TILE	T.B.D.	WB-1	WOOD BASE TRIM	MATCH EXISTING	QT-5	QUARRY TILE	T.B.D.	CPT-
1111475	EXISTING		PL-10	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-3	VINYL COMPOSITE TILE	T.B.D.	CT-1	CERAMIC TILE	T.B.D.	QT-6	QUARRY TILE	T.B.D.	VCT-
HWF-2	HARDWOOD FLOORING	REFINISH EXISTING HWF.	PL-11	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-4	VINYL COMPOSITE TILE	T.B.D.	CT-2	CERAMIC TILE	T.B.D.	QT-7	QUARRY TILE	T.B.D.	— vст–
P-1	PAINT	DRY-LOK. 1 COAT PRIMAR & (2) FINISH COATS. COLOR T.B.D.	PL-12	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-1	WOOD BASE STAIN	COLOR: NATURAL MANF ID: 209	CT-3	CERAMIC TILE	T.B.D.	PLM-1	LAMINATE	COLOR: WHITE	
PL-1	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-13	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-2	WOOD BASE STAIN	COLOR: GOLDEN OAK MANF ID: 210B	GT-1	GLASS TILE	T.B.D.	GR-1	GRANITE SURFACE	T.B.D.	HWF-
PL-2	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-14	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-3	WOOD BASE STAIN	COLOR: EBONY MANF ID: 2718	GT-1	GLASS TILE	T.B.D.	GR-2	GRANITE SURFACE	T.B.D.	OT-1
PL-3	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-15	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-4	WOOD BASE STAIN	COLOR: RED OAK MANF ID: 215	GT-2	GLASS TILE	T.B.D.	GR-3	GRANITE SURFACE	T.B.D.	QT-2
PL-4	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	P0-1	OLIALKYD SEMI GLOSS FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	PLY-1	STAIIN GRADE PLYWOOD	SPECIES: MAPLE	GT-3	GLASS TILE	T.B.D.				
PL-5	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	CPT-1	CARPET	T.B.D.	PLY-2	STAIIN GRADE PLYWOOD	SPECIES: BEECH	QT-1	QUARRY TILE	T.B.D.				
PL-6	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	CPT-2	CARPET	T.B.D.	PLY-3	STAIIN GRADE PLYWOOD	SPECIES: OAK	QT-2	QUARRY TILE	T.B.D.				
PL-7	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL —	CPT-3	CARPET	T.B.D.	HRWD-1	STAIIN GRADE HARDWOOD	SPECIES: MAPLE	QT-3	QUARRY TILE	T.B.D.				

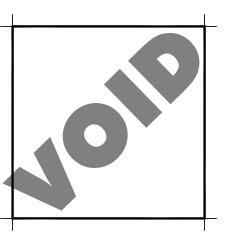
1	SAMPLES FOR ARCHITECT REVIEW, OWNER APPROVAL, PRIOR TO ORDERING, PURCHASING, INSTALLING. CONTRACTOR TO REVIEW ALL MATERIAL SCHEDULES, MILLWORK AND FINISH PLANS. CONTACT ARCHITECT WITH CONFLICTS WITH DESIGN	
—	INTENT.	
702	PROVIDE TRANSITION STRIP, SEE DETAIL 4/A-6.9	
	WOOD TRANSITION STRIP TO MATCH NEW HWF.	
704	DIRECTION OF HWF.	
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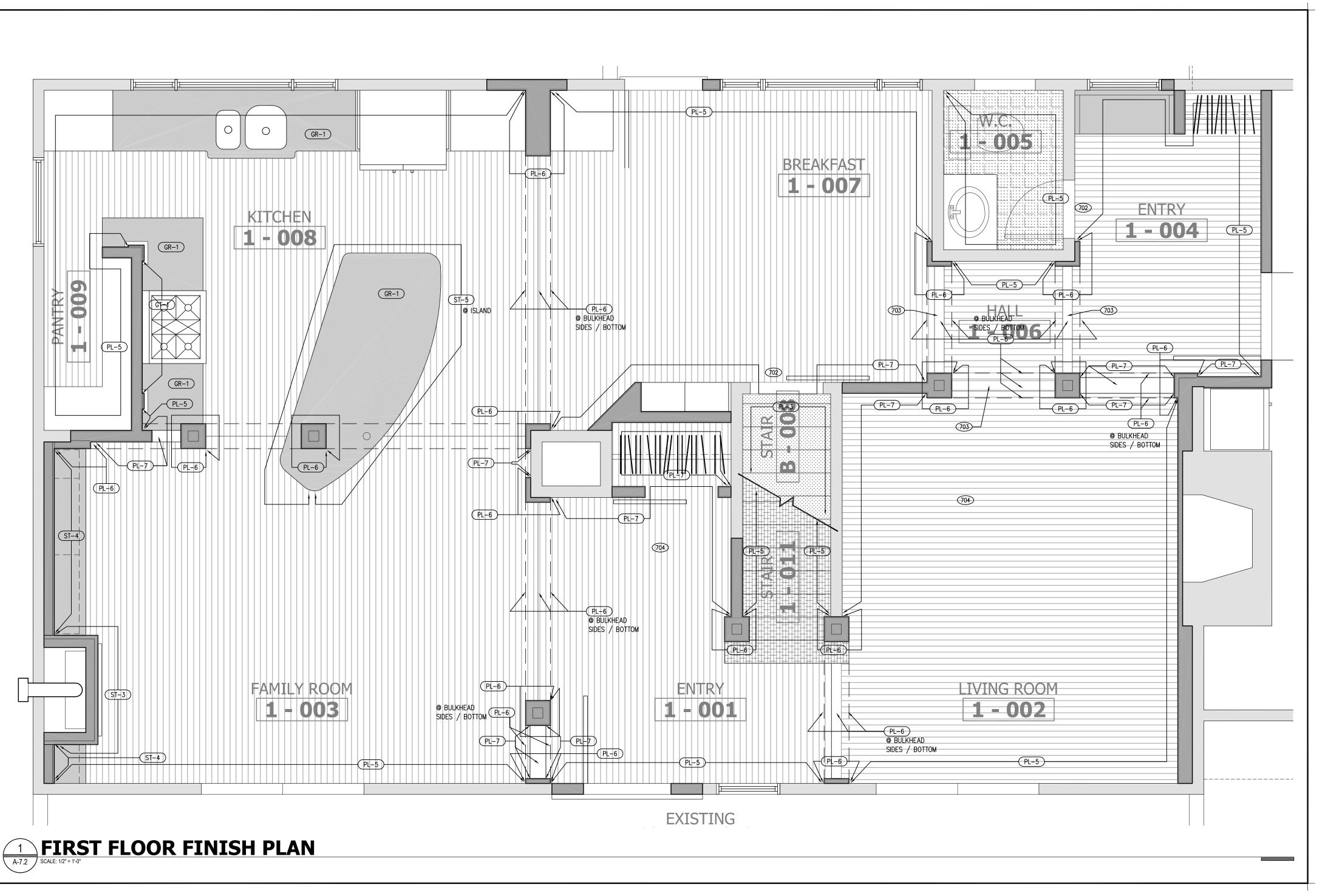


BOWMAN-JACKSON RESIDENCE

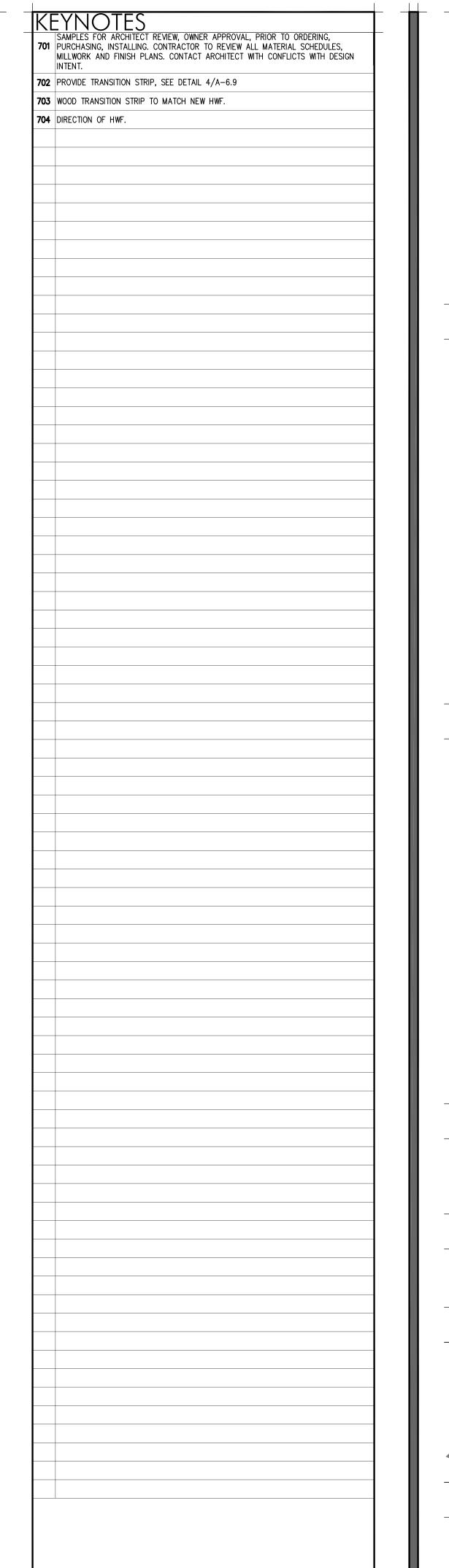
BASEMENT FINISH PLAN







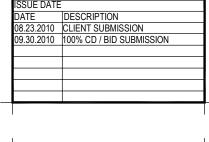
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MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	
EXG-1	EXISTING		PL-8	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-1	VINYL COMPOSITE TILE	T.B.D.	T-1	WOOD TRIM	MATCH EXISTING	QT-4	QUARRY TILE	T.B.D.	
HWF-1	HARDWOOD FLOORING	T&G SELECT CHERRY STRIP FLOORING	PL-9	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-2	VINYL COMPOSITE TILE	T.B.D.	WB-1	WOOD BASE TRIM	MATCH EXISTING	QT-5	QUARRY TILE	T.B.D.	
11WE 0	EXISTING	DEFINICIA EVICTINO LIWE	PL-10	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-3	VINYL COMPOSITE TILE	T.B.D.	CT-1	CERAMIC TILE	T.B.D.	QT-6	QUARRY TILE	T.B.D.	v
HWF-2	HARDWOOD FLOORING	REFINISH EXISTING HWF.	PL-11	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-4	VINYL COMPOSITE TILE	T.B.D.	CT-2	CERAMIC TILE	T.B.D.	QT-7	QUARRY TILE	T.B.D.	
P-1	PAINT	DRY-LOK. 1 COAT PRIMAR & (2) FINISH COATS. COLOR T.B.D.	PL-12	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-1	WOOD BASE STAIN	COLOR: NATURAL MANF ID: 209	CT-3	CERAMIC TILE	T.B.D.	PLM-1	LAMINATE	COLOR: WHITE	Fig. 1
PL-1	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-13	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-2	WOOD BASE STAIN	COLOR: GOLDEN OAK MANF ID: 210B	GT-1	GLASS TILE	T.B.D.	GR-1	GRANITE SURFACE	T.B.D.	HV
PL-2	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-14	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-3	WOOD BASE STAIN	COLOR: EBONY MANF ID: 2718	GT-1	GLASS TILE	T.B.D.	GR-2	GRANITE SURFACE	T.B.D.	OT OT
PL-3	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-15	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-4	WOOD BASE STAIN	COLOR: RED OAK MANF ID: 215	GT-2	GLASS TILE	T.B.D.	GR-3	GRANITE SURFACE	T.B.D.	QT
PL-4	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	P0-1	OLIALKYD SEMI GLOSS FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	PLY-1	STAIIN GRADE PLYWOOD	SPECIES: MAPLE	GT-3	GLASS TILE	T.B.D.				
PL-5	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	CPT-1	CARPET	T.B.D.	PLY-2	STAIIN GRADE PLYWOOD	SPECIES: BEECH	QT-1	QUARRY TILE	T.B.D.				
PL-6	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	CPT-2	CARPET	T.B.D.	PLY-3	STAIIN GRADE PLYWOOD	SPECIES: OAK	QT-2	QUARRY TILE	T.B.D.				
PL-7	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL – SEMI GLOSS	CPT-3	CARPET	T.B.D.	HRWD-1	STAIIN GRADE HARDWOOD	SPECIES: MAPLE	QT-3	QUARRY TILE	T.B.D.				

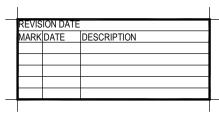


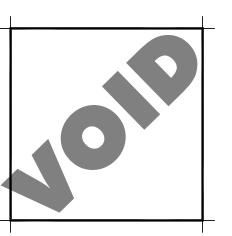


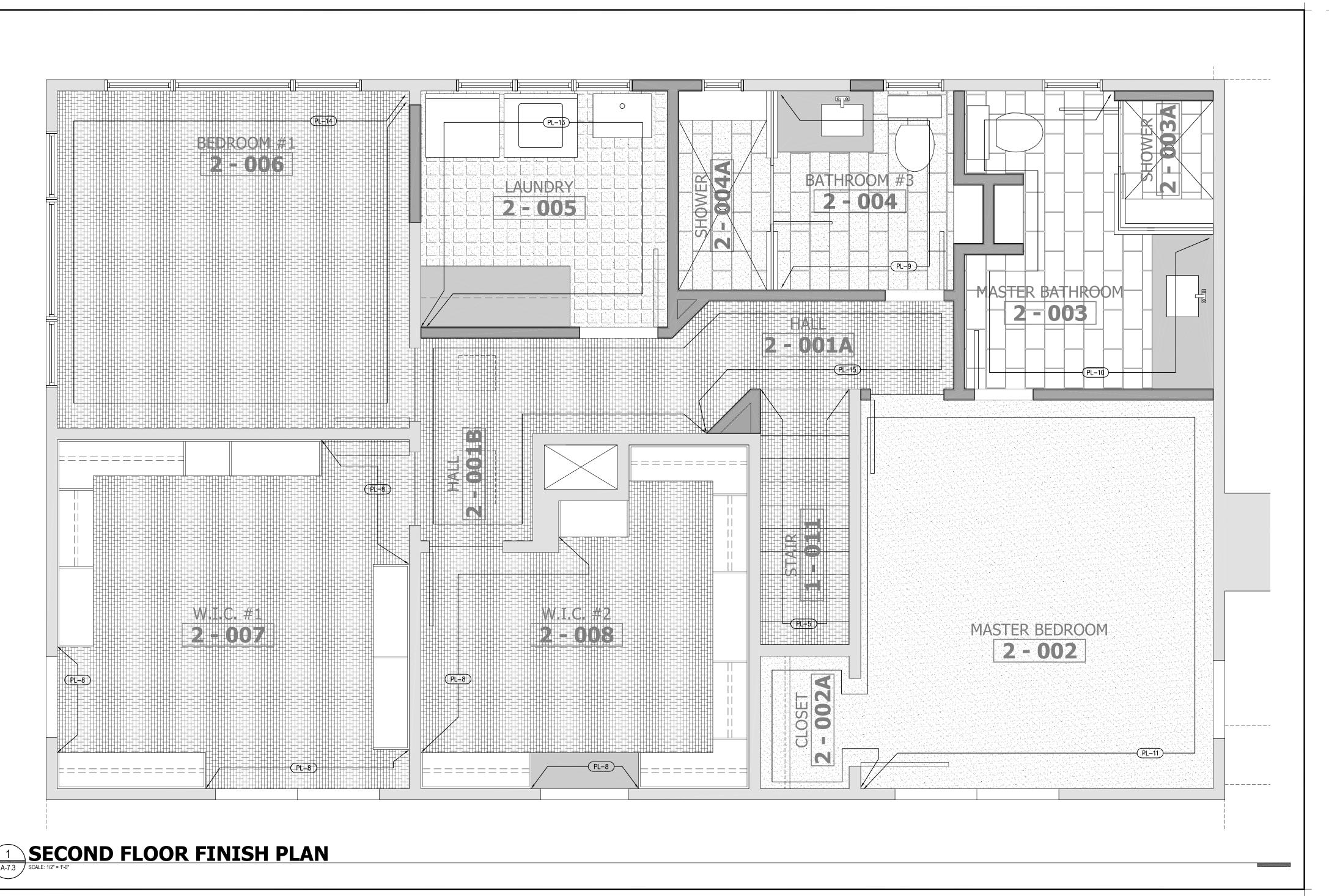
BOWMAN-JACKSON RESIDENCE

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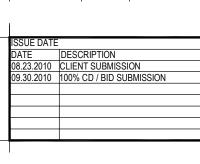
<u>лАТ</u>	ERIAL SCHI	EDULE													LEGEND
MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	CPT-1
EXG-1	EXISTING		PL-8	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-1	VINYL COMPOSITE TILE	T.B.D.	T-1	WOOD TRIM	MATCH EXISTING	QT-4	QUARRY TILE	T.B.D.	CPT-2
HWF-1	HARDWOOD FLOORING	T&G SELECT CHERRY STRIP FLOORING	PL-9	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-2	VINYL COMPOSITE TILE	T.B.D.	WB-1	WOOD BASE TRIM	MATCH EXISTING	QT-5	QUARRY TILE	T.B.D.	CPT-3
HWF-2	EXISTING	REFINISH EXISTING HWF.	PL-10	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-3	VINYL COMPOSITE TILE	T.B.D.	CT-1	CERAMIC TILE	T.B.D.	QT-6	QUARRY TILE	T.B.D.	VCT-1
□ vv r — ∠	HARDWOOD FLOORING	NETINION EXISTING MWF.	PL-11	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	VCT-4	VINYL COMPOSITE TILE	T.B.D.	CT-2	CERAMIC TILE	T.B.D.	QT-7	QUARRY TILE	T.B.D.	VCT-2
P-1	PAINT	DRY-LOK. 1 COAT PRIMAR & (2) FINISH COATS. COLOR T.B.D.	PL-12	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-1	WOOD BASE STAIN	COLOR: NATURAL MANF ID: 209	CT-3	CERAMIC TILE	T.B.D.	PLM-1	LAMINATE	COLOR: WHITE	VCT-4
PL-1	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-13	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-2	WOOD BASE STAIN	COLOR: GOLDEN OAK MANF ID: 210B	GT-1	GLASS TILE	T.B.D.	GR-1	GRANITE SURFACE	T.B.D.	HWF—1
PL-2	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-14	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-3	WOOD BASE STAIN	COLOR: EBONY MANF ID: 2718	GT-1	GLASS TILE	T.B.D.	GR-2	GRANITE SURFACE	T.B.D.	OT-1
PL-3	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-15	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	ST-4	WOOD BASE STAIN	COLOR: RED OAK MANF ID: 215	GT-2	GLASS TILE	T.B.D.	GR-3	GRANITE SURFACE	T.B.D.	QT-2
PL-4	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	P0-1	OLIALKYD SEMI GLOSS FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	PLY-1	STAIIN GRADE PLYWOOD	SPECIES: MAPLE	GT-3	GLASS TILE	T.B.D.				
PL-5	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	CPT-1	CARPET	T.B.D.	PLY-2	STAIIN GRADE PLYWOOD	SPECIES: BEECH	QT-1	QUARRY TILE	T.B.D.				
PL-6	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	CPT-2	CARPET	T.B.D.	PLY-3	STAIIN GRADE PLYWOOD	SPECIES: OAK	QT-2	QUARRY TILE	T.B.D.				
PL-7	LATEX FINISH PAINT	SEMI GLOSS 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL — SEMI GLOSS	CPT-3	CARPET	T.B.D.	HRWD-1	STAIIN GRADE HARDWOOD	SPECIES: MAPLE	QT-3	QUARRY TILE	T.B.D.				

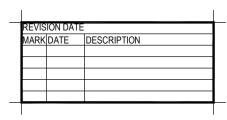
	SAMPLES FOR ARCHITECT REVIEW, OWNER APPROVAL, PRIOR TO ORDERING, PURCHASING, INSTALLING. CONTRACTOR TO REVIEW ALL MATERIAL SCHEDULES, MILLWORK AND FINISH PLANS. CONTACT ARCHITECT WITH CONFLICTS WITH DESIGN INTENT.	
702	PROVIDE TRANSITION STRIP, SEE DETAIL 4/A-6.9	
	WOOD TRANSITION STRIP TO MATCH NEW HWF.	
704	DIRECTION OF HWF.	
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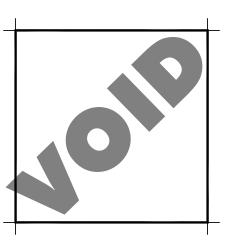


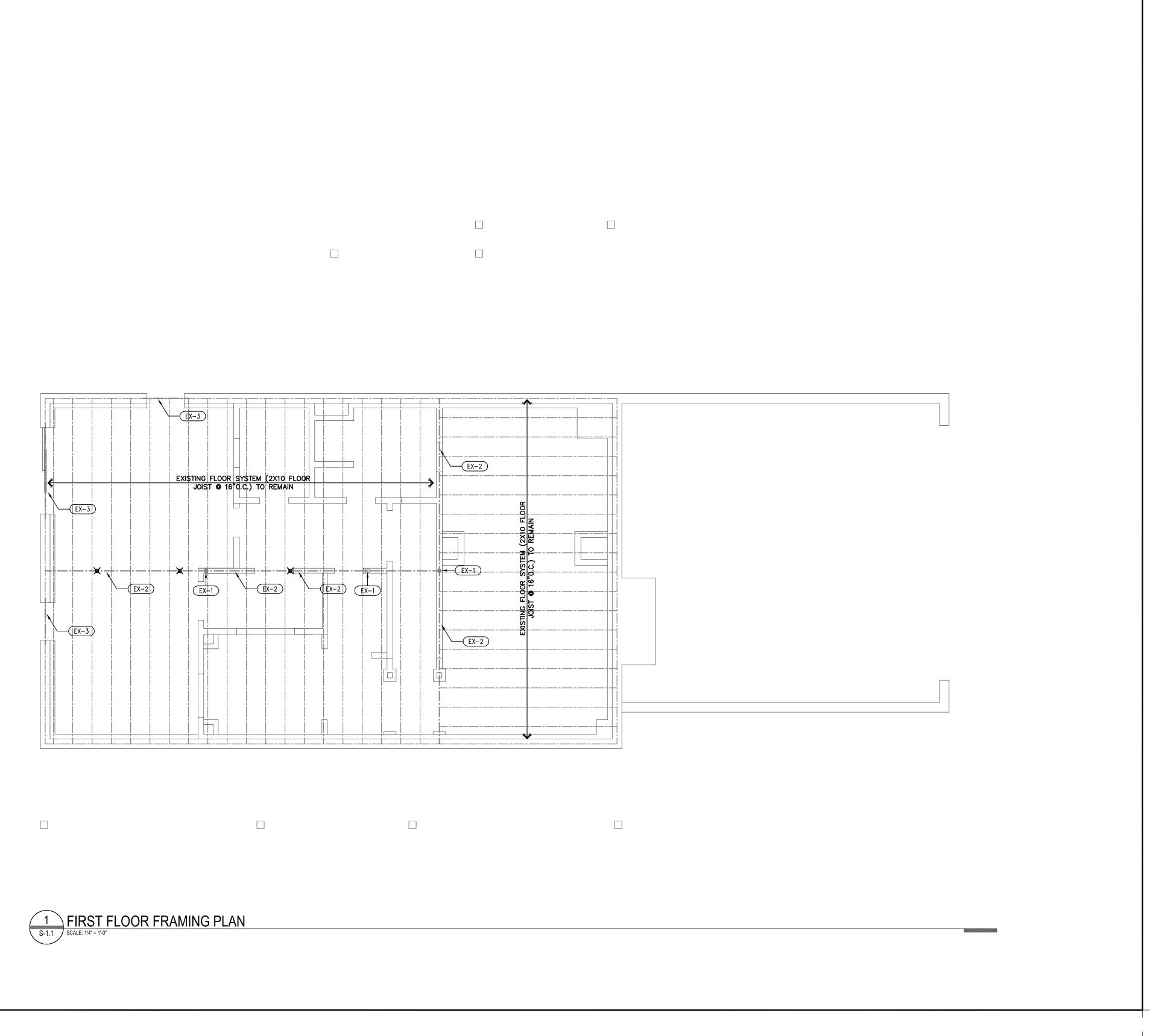
BOWMAN-JACKSON RESIDENCE

SECOND FLOOR FINISH PLAN

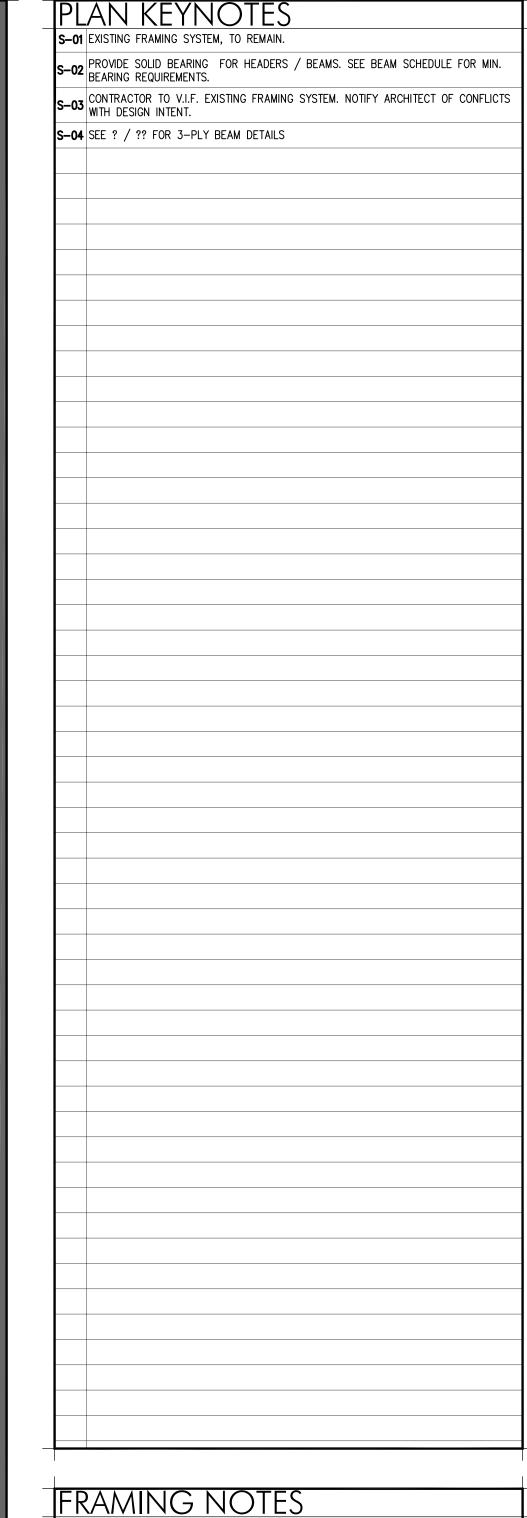








FOO	TING S	SCHEDULE		COL	. / PIER	SCH	DULE	BEAM / HI	ADER	SCH	•	\overline{CON}	INECTOR	/ HANGER - SCHEDULE
NO.	SIZE	DEPTH STEEL REINFORCEMENT	NOTES	NO.	SIZE	MATERIAL	NOTES	NO. SIZE	MAT.	TYPE	BRG REQ'D PER END	NO.	MANUFACTURER	MANUF. ID # TYPE
				EX-1	3-1/2" DIA.	STEEL	TO REMAIN	EX-2 EXISTING BE	M STEEL					
								EX-3 EXISTING BE	M WOOD					
								BM-100 (2) 2 x 1	WOOD	HEM FIR	3"			
								BM-101 (2) 1-3/4" x 9	-1/4" WOOD	1.9E LVL	3"			
								BM-102 (2) 2 x 1	WOOD	HEM FIR	3"			
								BM-103(2) 1-3/4" x 1	-7/8" WOOD	1.9E LVL	3"			
								BM-104 (3) 1-3/4" >	14" WOOD	1.9E LVL	3"			
								BM-105 (3) 1-3/4" x 9	-1/4" WOOD	1.9E LVL	3"			



- STRUCTURAL LUMBER TO BE KILN DRIED NO. 2 HEM FIR SOUTHERN YELLOW PINE, OR
- ALL WOOD BEAMS AND ENGINEERED FLOOR JOIST INDICATED ARE AS MANUFACTURED BY TRUSS JOIST MACMILLAN. REFER TO MANUFACTURER INSTRUCTIONS FOR NAILING / BOLTING OF MULTIPLE PIECE MEMBERS AND FOR LOCATION AND SIZE OF HOLES TO BE CUT IN FRAMING MEMBERS. SUPPLIER TO VERIFY SPANS AND SPACING INDICATED. PROVIDE DESIGNER WITH LAYOUT. MIN. TJI PERFORMANCE RATING:50.
- DOUBLE UP JOISTS BENEATH WALLS RUNNING PARALLEL TO FRAMING, TYP.
- . ALL WALLS TO HAVE CONTINUOUS DOUBLE TOP PLATE.
- ALL WOOD EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY, TO BE PRESSURE TREATED, TYP.
- SOLID BEARING LOCATIONS, AS INDICATED, TO BE SOLID WOOD 4x4 POST, U.N.O. ALL FRAMING CONNECTIONS SHALL HAVE THE HANGER OR CONNECTOR OF THE TYPE & GAUGE RECOMMENDED BY MANUFACTURER FOR THE SPECIFIC FRAMING CONNECTION. ALL FASTENERS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- B. HANGERS & CONNECTORS TO BE SIMPSON OR EQUAL.
- 9. INSTALL HEADERS AS HIGH AS POSSIBLE. FRAME DOWN FOR OPENING AS REQUIRED.
- 10. ALL POINT LOADS FROM ABOVE TO BE TRANSFERRED TO FOOTING BY WAY OF SOLID POST - WHETHER INDICATED OR NOT.
- 11. ALL EXTERIOR WALLS TO RECEIVE $\frac{1}{2}$ " SHEATHING FOR A MIN. OF 4' FROM CORNER,
- 12. PROVIDE LATERAL SUPPORT FOR ALL BEAMS / JOIST @ BEARING.

<u>Legend</u>	
	FRAMING MEMBE
7//////////////////////////////////////	EXISTING WALL /

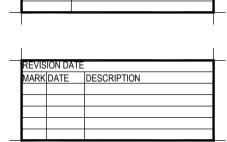
<u>LEGEND</u>			
	FRAMING MEMBER		NEW HEADER / BEAM
	EXISTING WALL / CONSTRUCTION TO REMAIN		SOLID BEARING / COLUMN
	BEARING WALL / PARTITION	⋈ PLB	POINT LOAD TO BELOW
	BEARING WALL / PARTITION ABOVE	≭ PLA	POINT LOAD FROM ABOVE
	ADEA OF OVER FRANKLO	F	JOIST / RAFTER HANGER
	AREA OF OVER-FRAMING	(XX-XXX)	SCHEDULED ITEM

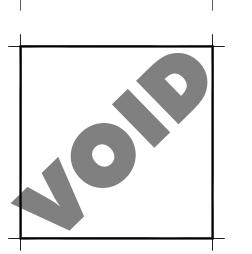


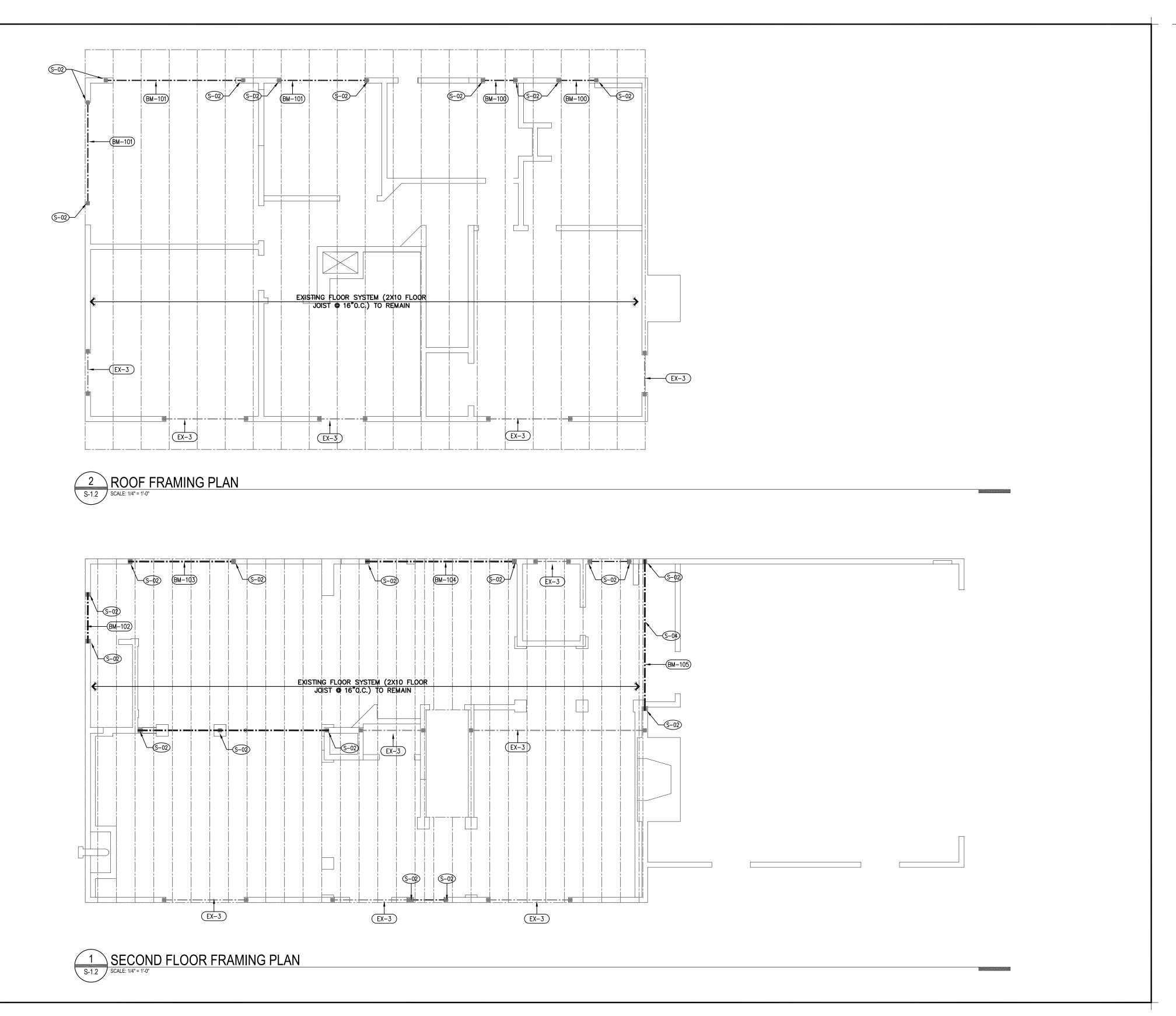
RESIDENCE

PLAN

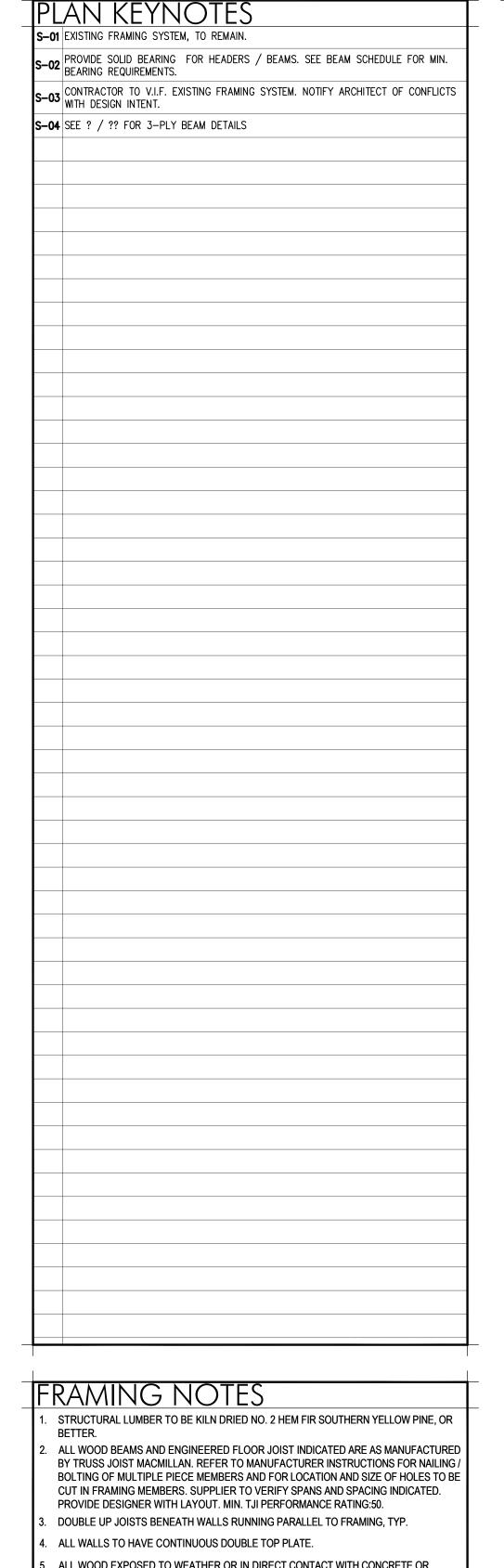
FLOOR 08.23.2010 CLIENT SUBMISSION
09.30.2010 100% CD / BID SUBMISSION







FOO	TING SCHEDULE	CO	/ PIER	SCHE	EDULE	BEAM / HEAD	ER SCH.	COI	NNECTOR /	/ HANGER - SCHEDULE
NO.	SIZE DEPTH STEEL REINFORCEMENT	NOTES NO.	SIZE	MATERIAL	NOTES	NO. SIZE	MAT. TYPE BRG REQ'D PER END	NO.	MANUFACTURER A	MANUF. ID # TYPE
		EX-1	3-1/2" DIA.	STEEL	TO REMAIN	EX-2 EXISTING BEAM	STEEL			
						EX-3 EXISTING BEAM	WOOD			
						BM-100 (2) 2 x 10	WOOD HEM FIR 3"			
						BM-101 (2) 1-3/4" x 9-1/4"	WOOD 1.9E LVL 3"			
						BM-102 (2) 2 x 12	WOOD HEM FIR 3"			
						BM-103 (2) 1-3/4" x 11-7/8"	WOOD 1.9E LVL 3"			
						BM-104 (3) 1-3/4" x 14"	WOOD 1.9E LVL 3"			
						BM-105 (3) 1-3/4" x 9-1/4"	WOOD 1.9E LVL 3"			



- ALL WOOD EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY, TO BE PRESSURE TREATED, TYP.
- SOLID BEARING LOCATIONS, AS INDICATED, TO BE SOLID WOOD 4x4 POST, U.N.O. ALL FRAMING CONNECTIONS SHALL HAVE THE HANGER OR CONNECTOR OF THE TYPE & GAUGE RECOMMENDED BY MANUFACTURER FOR THE SPECIFIC FRAMING CONNECTION. ALL FASTENERS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- HANGERS & CONNECTORS TO BE SIMPSON OR EQUAL.
- INSTALL HEADERS AS HIGH AS POSSIBLE. FRAME DOWN FOR OPENING AS REQUIRED.
- 10. ALL POINT LOADS FROM ABOVE TO BE TRANSFERRED TO FOOTING BY WAY OF SOLID POST - WHETHER INDICATED OR NOT.
- 11. ALL EXTERIOR WALLS TO RECEIVE $\frac{1}{2}$ " SHEATHING FOR A MIN. OF 4' FROM CORNER,
- 12. PROVIDE LATERAL SUPPORT FOR ALL BEAMS / JOIST @ BEARING.

LEGENI	
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<u> LEGEND</u>			
l ———	FRAMING MEMBER		NEW HEADER / BEAM
	EXISTING WALL / CONSTRUCTION TO REMAIN		SOLID BEARING / COLUMN
	BEARING WALL / PARTITION	⋈ PLB	POINT LOAD TO BELOW
	BEARING WALL / PARTITION ABOVE	X PLA	POINT LOAD FROM ABOVE
	ADEA OF OVER FRANKLO	H	JOIST / RAFTER HANGER
	AREA OF OVER-FRAMING	(XX-XXX)	SCHEDULED ITEM



RESIDENCE

BOWMAN-JACKSON

P

08.23.2010 CLIENT SUBMISSION 09.30.2010 100% CD / BID SUBMISSION

