

# BOWMAN / JACKSON RESIDENCE

14540 COLONY COURT  
WOODBRIDGE, VIRGINIA 20112

COUNTY OF PRINCE WILLIAM VIRGINIA



<b>OWNER</b> Ms. Regina Bowman and Mr. Art Jackson 14540 Colony Court Woodbridge, Virginia 20112 703.
<b>ARCHITECT</b> Mr. Richard Edward Hosteley Jr. Commonwealth of Virginia Lic. No. 013719 RICHHOSTELLEY NCARB Architect 113 S West Street - Suite 100 Alexandria Virginia, 22314 703.598.0359 rich@rh-architect.com
<b>CONTRACTOR</b> T.B.D.

<b>DESIGN CRITERIA</b>
<b>SCOPE OF WORK</b> INTERIOR ALTERATIONS TO BASEMENT, FIRST AND SECOND FLOORS.
<b>BUILDING CODE</b> UNIFORM VIRGINIA STATE BUILDING CODE INTERNATIONAL RESIDENTIAL CODE (I.R.C.) 2006
<b>USE GROUP</b> SINGLE FAMILY RESIDENTIAL
<b>CONSTRUCTION TYPE</b> 5B
SEE SHEET SN-1 FOR STRUCTURAL DESIGN LOADS AND NOTATION.



**BOWMAN-JACKSON RESIDENCE**  
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COUNTY OF PRINCE WILLIAM, VIRGINIA

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ABBREVIATIONS			
A/C	AIR CONDITIONER	G.	GAS
A.C.	ALTERNATING CURRENT	GA.	GAUGE
ADDN	ADDITION	GAL.	GALLON
A.F.F.	ABOVE FINISHED FLOOR	G.B.	GYPSON WALLBOARD
A.H.U.	AIR HANDLING UNIT	GEN'L	GENERAL
ALUM.	ALUMINUM	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
APPROX.	APPROXIMATE	GL.	GLASS
ARCHT.	ARCHITECT	GL./T.	GLASS/TEMPERED
AVG.	AVERAGE	GND.	GROUND
BRD.	BOARD	GYP.	GYPSON
B.F.F.	BELOW FINISHED FLOOR	H.	HORIZONTAL
BIF.	BITUMINOUS	H.B.	HOSE BIB
BLDG.	BUILDING	HT.	HEIGHT
BRDG.	BRIDGING	H.M.	HOLLOW METAL
BRG.	BEARING	HORIZ.	HORIZONTAL
BSMT.	BASEMENT	H.P.	HORSEPOWER
B.T.U.	BRITISH THERMAL UNIT	HTG.	HEATING
B.U.R.	BUILT-UP ROOFING	HTR.	HEATER
		H.W.	HOT WATER
C.	COURSE(S)	I.D.	INSIDE DIAMETER
CABT	CABINET	IN.	INCH
C.66.	CURB AND GUTTER	INCL.	INCLUDE(ING)
CEM.	CEMENT(IOUS)	INSUL.	INSULATION
CER.	CERAMIC	INT.	INTERIOR
C.F.M.	CUBIC FEET PER MINUTE	JAN.	JANITOR
CKT.	CIRCUIT	JST.	JOIST
C/L	CENTER LINE	JT.	JOINT
CLG.	CEILING	KIT.	KITCHEN
CLK.	CAULK	LAM.	LAMINATE
CLKG.	CAULKING	LAV.	LAVATORY
CLO.	CLOSET	LB.	POUND
CLR.	CLEAR	LG.	LIGHTING
C.M.U.	CONCRETE MASONRY UNIT	LGT.	LIGHTING
C.O.	CLEANOUT	MAX.	MAXIMUM
COL.	COLUMN	MECH.	MECHANICAL
COM.	COMMON	MEMB.	MEMBRANE
CONC.	CONCRETE	MTL.	METAL
CONN.	CONNECTION	MEZZ.	MEZZANINE
CONSTR.	CONSTRUCTION	MFR.	MANUFACTURER
CORR.	CORRIDOR	MIN.	MINIMUM
C.T.	CERAMIC TILE	MASONRY	MASONRY OPENING
C.W.	COLD WATER	M.O.	MASONRY OPENING
DBL.	DOUBLE	N.	NORTH
D.C.	DIRECT CURRENT	N.C.	NOT IN CONTRACT
DEG.	DEGREE	NO.	NUMBER
DET.	DETAIL	NOM.	NOMINAL
DIA.	DIAMETER	O.C.	ON CENTER
DIAG.	DIAGONAL	OPN'G	OPENING
DIFF.	DIFFUSER	OPP.	OPPOSITE
DM.	DIMENSION	O.H.D.	OVERHEAD DOOR
DISC.	DISCONNECT	/	PER
DIST.	DISTANCE	P.B.	PUSH BUTTON
DN.	DOWN	PH.	PHASE
DR.	DOOR	PL.	PLATE
D.S.	DOWNSPOUT	P/L	PROPERTY LINE
D/S	DOORSTOP	PLAM.	PLASTIC LAMINATE
D.W.	DISHWASHER	PLAS.	PLASTER
DWG.	DRAWING	PLYWD.	PLYWOOD
EA.	EACH	FR.	FAIR
ELEV.	ELEVATION (HEIGHT)	PREFAB.	PREFABRICATED
EMER.	EMERGENCY	PRESS.	PRESSURE
ENGR.	ENGINEER	PROJ.	PROJECT
EQUIP.	EQUIPMENT	PROP'D	PROPOSED
EX'G.	EXISTING	P.S.I.	POUNDS PER SQUARE INCH
EXP.	EXHAUST	PTD.	PAINTED
EXT.	EXTERIOR	Q.T.	QUANTITY
F.D.	FLOOR DRAIN	QTY.	QUANTITY
FIN.	FINISH		
FIX.	FIXTURE		
FL.	FLOOR		
FLUOR.	FLOURESCENT		
F.P.M.	FEET PER MINUTE		
FT.	FOOT		

SYMBOLS AND MATERIALS			
	DOOR TYPE		WOOD
	WINDOW TYPE		C.M.U.
	KITCHEN		BRICK
	ROOM NAME		CONCRETE
	ROOM NUMBER		UNDISTURBED EARTH
	SECTION		GYPSON
	ELEVATION		RIGID INSULATION
	ENLARGED DETAIL		PLYWOOD
	ELEVATION		WOOD (ROUGH)
	KEYNOTE		GRAVEL/STONE
			BATT INSULATION
			STEEL

GENERAL NOTES	
1. CONTRACTOR SHALL STABILIZE ALL DISTURBED SOIL AREA WITH SEED & STRAW WHERE APPLICABLE U.N.O.	
2. CONTRACTOR SHALL INCLUDE IN THEIR PRICE ALL ITEMS REASONABLY INFERRED BUT NOT SPECIFICALLY SHOWN.	
3. EX'G WALLS / SURFACES AFFECTED BY NEW WORK SHALL BE REFINISHED TO NEAREST CORNER.	
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE W/ ALL APPLICABLE CODES.	
5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-CONTRACTORS VISIT THE JOB SITE, REVIEW THE PLANS AND SPECIFICATIONS, UNDERSTAND THE SCOPE OF WORK IN ITS ENTIRETY, AND POINT OUT ANY INCONSISTENCIES PRIOR TO BIDDING / CONSTRUCTION.	
6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS PRIOR TO FABRICATION OR INSTALLATION OF WORK.	
7. CONTRACTOR SHALL NOT SCALE DRAWINGS AND DISCREPANCIES BETWEEN EXISTING CONDITION AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.	
8. ALL SURFACES DAMAGED BY NEW CONSTRUCTION SHALL BE REPAIRED, PATCHED, OR REFINISHED TO MATCH ADJACENT MATERIALS.	

BID REQUIREMENTS	
SEE ATTACHED DOCUMENTATION	

DRAWING STANDARDS	
1. ALL DIMENSIONS ARE TO FINISHED WALL, U.N.O.	
2. CONTRACTOR TO COORDINATE ALL ELECTRICAL, PLUMBING AND HVAC ROUTING THROUGH CONCEALED SPACES. CONTRACTOR SHALL COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. DRAWINGS PROVIDE SCHEMATIC ARRANGEMENTS ONLY.	
3. CONTRACTOR SHALL NOTIFY THE ARCHITECT TO VERIFY WALL PLACEMENT IN CRITICAL AREAS WHEN CHALK LINE LAYOUT HAS BEEN COMPLETED BY THE CONTRACTOR.	
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND COORDINATE CLEARANCES WITH ALL OTHER TRADES.	
5. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.	
6. T.B.D. (TO BE DETERMINED) INDICATES AN ITEM TO BE SELECTED BY THE APPROPRIATE PARTY AT A LATER DATE.	
7. V.I.F. (VERIFY IN FIELD) INDICATES AN ITEM OR DIMENSION THAT IS ASSUMED TO EXIST BUT REQUIRES VERIFICATION DURING CONSTRUCTION. CONSULT DESIGNER IF DISCREPANCY EXISTS.	
8. D.I.F. (DETERMINE IN FIELD) INDICATES A DIMENSION WHICH IS DETERMINED BY OTHER CONDITIONS SPECIFIED ON THE DRAWINGS.	
9. A DIMENSION LABELED "C.B." INDICATES THAT THE SPECIFIED CRITICAL DIMENSION BE MAINTAINED.	
10. A DIMENSION LABELED "MIN." INDICATES THAT THE REQUIRED DIMENSION MAY NOT BE LESS THAN THE SPECIFIED DIMENSION.	

CONSTRUCTION PHASING	
PHASING TO BE DETERMINED.	

ITEMS SUPPLIED BY OWNER	
THE FOLLOWING ITEMS SHALL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.	
1. ALL FEATURE LIGHTING FIXTURES AS INDICATED ON RCP AND POWER / DATA PLANS.	
2. ALL APPLIANCES AND EQUIPMENT AS INDICATED ON RCP AND POWER / DATA PLANS.	

SHEET INDEX	
<b>ARCHITECTURAL</b>	
A - 0.0 COVER SHEET	
A - 0.1 GENERAL NOTES	
A - 0.2 GENERAL NOTES	
A - 0.3 WALL TYPES	
A - 0.4 ROOM - MATERIAL SCHEDULES	
A - 0.5 DOOR - HARDWARE SCHEDULE	
A - 0.6 WINDOW SCHEDULE	
A - 0.7 CABINET - PLUMBING - EQUIPMENT SCHEDULES	
A - 1.0 NOT IN SET	
A - 2.1 DEMO BASEMENT PLAN	
A - 2.1 DEMO FIRST FLOOR PLAN	
A - 2.1 DEMO SECOND FLOOR PLAN	
A - 3.1 BASEMENT NEW WORK PLAN	
A - 3.2 FIRST FLOOR NEW WORK PLAN	
A - 3.3 SECOND FLOOR NEW WORK PLAN	
A - 4.1 BASEMENT REFLECTIVE CEILING PLAN	
A - 4.2 FIRST FLOOR REFLECTIVE CEILING PLAN	
A - 4.3 SECOND FLOOR REFLECTIVE CEILING PLAN	
A - 5.1 BASEMENT POWER / DATA PLAN	
A - 5.2 FIRST FLOOR POWER / DATA PLAN	
A - 5.3 SECOND FLOOR POWER / DATA PLAN	
A - 6.1 BASEMENT ENLARGED MILLWORK PLAN	
A - 6.2 FIRST FLOOR ENLARGED MILLWORK PLAN	
A - 6.3 SECOND FLOOR ENLARGED MILLWORK PLAN	
A - 6.4 INTERIOR ELEVATIONS	
A - 6.5 INTERIOR ELEVATIONS	
A - 6.6 INTERIOR ELEVATIONS	
A - 6.7 INTERIOR ELEVATIONS	
A - 6.8 INTERIOR ELEVATIONS	
A - 6.9 INTERIOR ELEVATIONS	
A - 7.1 BASEMENT FINISH PLAN	
A - 7.2 FIRST FLOOR FINISH PLAN	
A - 7.3 SECOND FLOOR FINISH PLAN	

STRUCTURAL	
S - 0.1 STRUCTURAL NOTES - NOT IN SET	
S - 0.2 CONSTRUCTION DETAILS - NOT IN SET	
S - 1.1 FIRST FLOOR FRAMING PLAN	
S - 1.2 SECOND FLOOR FRAMING PLAN	
ROOF FRAMING PLAN	

COVER SHEET	
ISSUE DATE	DESCRIPTION
08.23.2010	CLIENT SUBMISSION
09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	
DATE	DESCRIPTION

VOID

A - 0.0

**BUILDING RULES**

1. GCs and GC's personnel will use loading dock area for all deliveries and will not use loading dock for vehicle parking.
2. No utilities (electricity, water, gas, plumbing) or service to the tenants are to be cut off or interrupted without first having secured in writing, the permission of the Owner with at least 72 hours notice, 3 business days.
3. The GC shall be responsible for the proper disposal of any construction debris and refuse, that is a result of work by their subcontractors or their own demolition and/or installation. Trash must be removed from the work area daily and from the site weekly. The GC must not use the Building Owner's dumpster unless specifically authorized to do so. Owner reserves the right to bill for any costs incurred to clean up debris left by the GC or any subcontractor. The location of the construction dumpster is to be coordinated with the Owner.
4. GC will supply Owner with a copy of all permits prior to the start of any work.
5. GC will post the demolition permit on a wall of the site while work is being performed.
6. Public areas, corridors, and elevator floors and walls are to be protected by mass board, carpet, or pads as specified. Provide runners or a series of walk-off mats from the elevator to the suite under construction. Walk-off mats to be provided at entrance doors.
7. Public corridors, elevators, bathrooms, and lobby, etc. must be cleared immediately after use.
8. Owner will be notified of all work schedules of all workmen on the job and will be notified, in writing, of names of those who may be working in the building after "normal" business hours.
9. Passenger elevators shall not be used for moving building materials or construction personnel. The designated freight elevator is the only elevator to be used for these purposes. This elevator may be used only when it is completely protected as determined by Owner. This elevator may not be used during morning, lunch, and evening "rush" hours.
10. No building materials are to enter the building by way of main lobby, and no materials are to be stored in any lobbies at any time. Store all construction materials and debris in suite.
11. Construction personnel are not to eat or congregate in the lobby or in front of the building. There will be no smoking, eating, or open food containers in the elevators, carpeted areas, or public lobbies. No smoking on job site. Smoking is allowed only in designated areas.
12. There will be no radios allowed on the job site. All workers are required to wear a shirt, shoes, and full length trousers. There will be no yelling or boisterous activities. There will be no alcohol or controlled substances allowed or tolerated.
13. The GC shall at all times ensure that work is being performed so as to avoid disruption of the business of the building or its tenants.
14. All materials, work, installations, and decorations of any nature brought upon or installed on the job site shall be to the contractor's risk and neither party acting on the other's behalf shall be responsible for any damages thereto or loss or destruction thereof.
15. Owner is to be contacted by the GC when work is completed for inspection. All damage to the building will be determined at that time.
16. Construction debris and materials shall be stored and transported in such a manner as not to create a hazardous or unsightly condition. The construction site shall consistently be maintained in a clean and hazard free condition.

**CONTRACTOR REQUIREMENTS**

Materials likely to emit Volatile Organic Compounds (VOCs) are as follows:

- Adhesives
- Paints, varnishes and lacquers
- Wood preservatives, stains and other wood finishing products
- Waterproofing products
- Caulking
- Grouting compounds
- Joint fillers
- Duct sealants
- Carpet seam sealants

These materials shall be applied according to manufacturer's specifications. Preferably, the contractor should provide evidence that these products do not emit VOCs or that they have been tested to emit less than 0.5mg/M2 (total VOCs). Alternatively, the submission of Material Safety Data Sheets (MSDS), to Owner, is required for these products prior to application.

The GC is responsible for the following:

- Performing work with the above materials during non-business hours. This requirement may be waived if evidence has been provided that the product does not emit VOCs, or does not emit offensive odors.
- Scheduling work through the Owner's Property Management Department.
- Properly ventilating the affected areas during and after installation procedures and ensuring VOCs emissions do not accumulate in existing tenant areas.

**GENERAL NOTES**

Hereafter **Rich Hostetley Architect** will be referred to as "RHA", the General Contractor will be referred to as "GC" and Building Management or Client shall be referred to as "Owner" in these documents. Prior to submittal of his cost proposal, the GC shall fully acquaint himself with conditions relating to construction and labor, as he understands the site and its difficulties and restrictions attending the execution of the work under the contract. The GC shall fully, thoroughly examine and be familiar with the drawings and specifications. The GC shall certify with RHA any conflicts between the construction plans themselves or between the engineers and architectural drawings prior to submittal of his cost proposal. If RHA is not contacted, the GC shall accept responsibility to correct any work installed that is not in accordance with the Contract Documents. The bid proposal shall be based on equipment, materials, manufacturers and systems described in the contract documents without exception unless specifically indicated in the proposal.

The GC shall verify all dimensions and quantities in the field. Do not scale drawings. If there are any discrepancies, GC shall notify RHA. The GC shall verify requirements for all equipment indicated on the drawings whether supplied by the Owner or the GC.

Any modification, reordering or replacement of materials resulting from the lack of coordination by the GC shall be done at no expense to the Owner when so determined and directed by RHA. The GC shall provide protection to existing finishes in public areas and shall be responsible to repair any damages caused by him or his subcontractors. RHA shall inspect all partition layout chalk line prior to partition construction. GC to contain demolition work, keep dust, debris, and fumes away from occupied and used areas of the building. GC to ensure safe passage of persons around the area of demolition, keep exits required by code open for emergency use and keep paths clear and safe. GC to perform work with the least possible interference to the normal building operations and with minimal disturbance to tenants. GC to perform work during regular business hours of operation. Any coordination as to scheduling or staging of work should be handled with the building Owner. GC shall verify locations of all telephone and electrical outlets with RHA by means of chalk layouts prior to installation. RHA shall be notified once the layout is ready for verification. Telephone and data outlets are shown for convenience of tenant and the Owner is not responsible for their installation. These outlets and any associated wiring are to be installed by the telephone vendor of tenant's choice and at its sole expense. Access panels shall be installed at any location requiring future access (i.e., junction boxes, piping valves, VAV controls, etc., whether or not indicated on drawings and according to all code and maintenance requirements.

**SECTION 0100-- SUMMARY OF THE WORK**

Drawing and general provisions of Contract, including General and Supplementary Conditions and other Division Specifications sections, apply to the Work in its entirety. Work of the Contract can be summarized by reference to the Contract, General Conditions, Supplementary Conditions, Specification Sections, Drawings, Addenda and modifications to the Contract Documents issued subsequent to the initial printing (if any of the preceding are provided) and including but not necessarily limited to printed material referenced by any of these. It is recognized that work of the contract is also unavoidably affected or influenced by governing regulations, natural phenomenon including weather conditions and other forces outside the contract documents. During the entire construction period the GC shall have use of the premises for construction operations, including use of the site, so determined by the Owner, and as permitted by the laws, ordinances, permits and contract documents. Partial Owner Occupancy: The Owner reserves the right to place and install equipment as necessary in completed areas of the building and to occupy such completed areas prior to substantial completion, provided that such occupancy does not substantially interfere with completion of the work. Such placing of equipment and partial occupancy shall not constitute acceptance of the Work or any part of the work.

Except as specifically noted, GC shall provide and pay for:

- Labor, materials and equipment.
- Tools, construction equipment and machinery.
- Water, heat, and utilities required for construction.
- Other facilities and services necessary for proper execution and completion of work.
- Pay legally required sales, consumer, and use taxes.

Secure and pay for, as necessary for proper execution and completion of Work, and as applicable at time of receipt of bids:

- Permits.
- Government fees.
- Licenses.

Give required notices. Comply with codes, ordinances, rules and regulations, orders and other legal requirements of public authorities, which bear on performance of Work. Promptly submit written notice to RHA of observed variance of Contract Documents from legal requirements. It is not the Contractor's responsibility to make sure that Drawings and Specifications comply with codes and regulations.

**SECTION 0104-- CUTTING & PATCHING**

Definition: "Cutting and patching" includes cutting into existing construction to provide for the installation or performance of other work and subsequent fitting and patching required to restore surfaces to their original condition. "Cutting and patching" is performed for coordination of the work, to uncover work for access or inspection, to obtain samples for testing, to permit alterations to be performed or for other similar purposes. Before cutting and patching the following categories or work, obtain the Architect's approval to proceed with cutting and patching described in the procedural proposal for cutting and patching.

- Miscellaneous structural members, including lintels, equipment supports, stair systems and similar categories or work.
- Structural concrete.
- Exterior curtain wall construction.
- Piping, ductwork, vessels and equipment.
- Primary operational systems and equipment.
- Water/moisture/vapor/air/smoke barriers, membranes and flashings.
- Control, communication, conveying, and electrical wiring systems.

Procedural Proposal: Where prior approval of cutting and patching is required, submit procedural proposal for this work well in advance of the time work will be performed and request approval to proceed. Include the following information, as applicable, in the submittal.

- List products to be used and firms that will perform work.
- List utilities that will be disturbed or otherwise be affected by work, including those that will be relocated and those that will be out-of-service temporarily. Indicate how long utility service will be disrupted.

As determined by the Architect, where cutting and patching of structural work involves the addition of reinforcement, submit details and engineering calculations to show how that reinforcement is integrated with original structure to satisfy requirements.

Approve by the Architect to proceed with cutting and patching work does not waive the Architect's right to later require complete removal and replacement of work found to be cut and patched in an unsatisfactory manner. Except as otherwise indicated, or as directed by the Architect, use materials for cutting and patching that are identical to existing materials. If identical materials are not available, or cannot be used, use materials that match existing adjacent surfaces to the fullest extent possible with regard to visual effect. Use materials for cutting and patching that will result in equal-or-better performance characteristics. Restore exposed and affected areas in a manner acceptable to the Architect.

**SECTION 0130-- SCHEDULES, REPORTS**

**PAYMENTS**

Request for payment: Except as otherwise indicated, progress payments should be submitted for approval on a regular basis. Each application must be consistent such as the initial application, the application at substantial completion and the final payment application involve additional requirements. Submit request on corresponding AIA document.

Material/Fabrication Values: for each unit of work where payment requests will be made on account of material or equipment purchased, fabricated or delivered, but not yet installed, show the "initial value" for payment request and value added for subsequent stage or stages of completion on that unit of work.

Application Preparation: Except as otherwise indicated, complete every entry provided for on the form, including notarization and execution by Architect/Engineer without action. Entries must match current data of schedule of values and progress schedule. Listing must include amounts of change orders issued "prior to last day of the period of construction" covered by application.

Initial Payment Application: The principal administrative actions and submittal which must precede or coincide with submittal of contractor's first payment application can be summarized as follows, but not necessarily limited to:

- Schedule of values.
- Progress schedule (preliminary if not final).
- Consent of surety for final payment.
- Performance and/or payment bonds (if required).
- Evidence satisfactory to Owner that Contractor's insurance coverage have been secured.

Application at Time of Substantial Completion: Following issuance of Architect's final "certificate of substantial completion", and also in part as applicable to prior certificate on portion of completed work as designated, a "special" payment application may be prepared and submitted by Contractor. The principal administrative actions and submittals, which must precede or coincide with such special applications can be summarized as follows, but not necessarily by way of limitation:

- Occupancy permits similar approval or certifications by governing authorities and franchised services, assuring Owner's full access and use of completed work.
- Warranties, (contractless), maintenance agreements and similar provisions or guarantees.
- Test/adjust/balance records maintenance instructions, meter readings, startup performance reports, and similar Changeover information germane to Owner's occupancy, use, operation and maintenance of completed work.

- Application for reduction (if any) of retainage, and consent of surety.
- Advice to Owner on coordination of shifting insurance coverage, including proof of extended coverage as required.
- Listing of Contractor's incomplete work, recognized as exceptions to Architect's certificate of substantial completion.

Final Payment Application: the administrative actions and submittals which must precede or coincide with submittal of final project close out documents.

Contractor's final payment application can be summarized as follows, but not necessarily by way of limitation:

- Completion of projects close-out requirements.
- Completion of items specified for completion (regardless of whether special payment application was previously made).
- Assurance, satisfactory to Owner, that unsettled claims will be settled and that work not actually completed and accepted will be completed without undue delay.

- Project name.
- Date.
- Name, address and telephone # of architect.
- Name, address and telephone # of Engineer.
- Name, address and telephone # of General Contractor.
- Name, address and telephone # of Sub Contractor.
- Name, address and telephone # of Suppliers.
- Name of Manufacturer.
- Number and title of appropriate specification section.
- Drawing number and detail references, as appropriate.
- Similar definitive information as necessary.

**SECTION 01631 -- PRODUCTS AND SUBSTITUTIONS**

Products are items purchased for incorporation in the Work, regardless of whether they were specifically purchased for the project or taken from the GC's previously purchased stock. The term "product" as herein includes the terms "material" equipment, system and other terms similar in intent.

Substitutions: the GC's requests for changes in the products, materials, equipment and methods of construction required by the contract documents are considered requests for "substitutions" and are subject to the requirement specified herein. The following are not considered as substitutions:

- Revisions to the contract documents, where requested by the Owner or Architect, are considered as changes and not substitutions.
- Substitutions requested during the bidding period, which have been accepted prior to the Contract Date, are included in the contract documents and are not subject to the requirements as substitutions as herein specified.
- Specified GC options on products and construction methods included in the contract documents are not subject to the requirements for substitutions as herein specified.
- Except as otherwise provided on the contract documents, the GC's determination of compliance with governing regulations and orders as issued by governing authorities do not constitute "substitutions" and do not constitute a basis for change orders.
- Compatibility of Options: Compatibility of products is a basic requirement of product selection. When the GC is given the option of selecting between two or more products for use in the project, the product selected must be compatible with other products previously selected, even if the products previously selected were also GC options.
- Drawing sheet or Specification Section calling for product being substituted, must be provided by the GC.

Request for Substitution: Submit 3 copies of each request for substitution, in each request identify the product or fabrication or installation method to be replaced by the substitution, include related specification section and drawing numbers, and complete documentation showing compliance with the requirements of the work. Include the following information, as appropriate, with each request.

- Provide samples where applicable or requested.
- Provide complete coordination information. Include all changes required on other elements of the work to accommodate the substitution.
- Provide a statement indicating the effect the substitution will have on the work schedule in comparison to the schedule without approval of the proposed substitution.
- Provide complete information, including proposal of the net change, if any in the Contract Sum.

**SECTION 01700-- PROJECT CLOSE-OUT**

Project close-out is the term used to describe certain collective project requirements, indicating completion of the work that is to be fulfilled near the end of the Contract time in preparation for the final payment to the GC and the normal termination of the Contract.

Substantial Completion: In the progress payment request that coincides with, or is the first request following, the date substantial completion is claimed, show % completion for the portion either 100 of the Work claimed as "Substantially Complete", or list incomplete items, the value of incomplete work, and reasons for the work being incomplete.

Advise Owner of pending insurance changeover requirements.

- Submit specific warranties, workmanship/maintenance agreements, final certification and similar documents.
- Obtain and submit releases assigning the Owner's full, unrestricted use of the work and access to services and utilities. Where required, include occupancy permits, operating certificate and similar releases.
- Deliver tools, spare parts, extra stock of material and similar physical items to the Owner.
- Make the final changeover of locks and transmit the keys to the Owner. Advise the Owner's personnel of the changeover in security provisions.
- Complete startup testing of systems and instruction of the Owner's operating and maintenance personnel, and deliver operating and maintenance manuals. Discontinue at change over and remove temporary facilities and services from the project site, along with construction tools and facilities, mockups and similar elements.
- Complete final clean up requirements, including touch up painting and repair of marred surfaces.
- Make the final changeover of locks and transmit the keys to the Owner. Advise the Owner's personnel of the changeover in security provisions.
- Complete startup testing of systems and instruction of the Owner's operating and maintenance personnel, and deliver operating and maintenance manuals. Discontinue at change over and remove temporary facilities and services from the project site, along with construction tools and facilities, mockups and similar elements.
- Complete final clean up requirements, including touch up painting and repair of marred surfaces.
- Follow the initial inspection, the Architect will either prepare the certificate of substantial completion, or will advise the GC of work which must be performed before the certificate will be issued. The Architect will repeat the inspection when requested and when assured that the Work has been substantially completed.
- Final Acceptance: Complete the following before requesting the Architect/Engineer's final inspection for certification of final acceptance, and final payment as required by the General Conditions. List known exceptions, if any, in the request.
- Submit the final payment request with final releases and supporting documentation not previously submitted and accepted. Include certificate of insurance for products and completed operations where required.
- Submit a certified copy of the Architect/Engineer's final punch-list (Itemized work to be completed or corrected, stating that each item), has been completed or otherwise resolved for acceptance and has been endorsed and dated by the Architect/Engineer.
- Submit final meter readings for utilities, a measured record of stored fuel, and similar data either on the date of substantial completion, or else when the Owner took possession of and responsibility for corresponding elements of work.
- Submit consent of surety.
- Submit a final liquidated damages settlement statement, acceptable to the Owner.
- Submit evidence of final, continuing insurance coverage complying with insurance requirements.

**SECTION 06100-- ROUGH CARPENTRY**

- Part 1 - GENERAL
- Part 2 - PRODUCTS

- Itemized and numbered list of all items included in Submittal
- Provide "2' x 4" space for Architect's submittal review stamp
- Where item is indicated as "standard" finish or material, submit manufacturer's complete finish and material selections for review by the Architect.
- Where item is indicated as "custom" material or finish, match Architects record sample selection. Resubmit as required until acceptable finish is achieved.
- Include index sheet with bound sets of Product Data. Index to identify, in order, entire contents of Submittal.
- Identify each Sample with a label indicating the following:
  - Project Name
  - Submittal Number
  - Architect's Project number
  - Name of Material
  - Symbol used in Construction Documents (ex: P-1, VB-7, etc.)
  - Finish of Material
  - Composition of Material
  - Location and intended use of Material
- Samples of framing material to include a corner joint
- Finish samples shall follow requirements in related Specification Section for type of sample to be submitted.
- Samples shall be fireproofed, Scotch Guarded, etc. when such treatment is required
- Samples shall be fireproofed, Scotch Guarded, etc. when such treatment is required
- Samples retained by the Architect are to establish the minimum standard of acceptable quality and finish for the material submitted.
- When Samples are rejected, the Contractor will be given reasons for rejection and resubmit Samples until they comply with the Contract Documents.
- At the option of the Architect or Owner, Samples may be subject to testing. Any additional samples that may be required for testing shall be provided by the Contractor at no additional cost.
- Resubmittals are handled the same as original submittals. Resubmittals shall have the original submittal number with an alphabetic or numeric suffix.
- Submittal Requirements: Submit, as appropriate, shop drawings, product data, sample and miscellaneous submittals for all products, materials, furnishings, assemblies, accessories, equipment and other items, though not specifically identified, that are necessary to complete the work.
- Submit the following quantities:
  - Shop Drawings:
    - Three complete sets of drawings, collated and unbound.
    - The Architect has discretion to mark one set and make copies for distribution.
  - Product Data:
    - Three sets each, plus the number the GC requests returned, of manufacturer's literature, specifications, installation instructions, etc. clearly identifying which products and/or procedures will be used.
    - Samples:
      - Three samples of each item submitted, plus the number the GC requests returned. Submit samples of all finishes in sizes determined by the Architect, but in no case less than 6 inches square.
      - Miscellaneous Submittals: Submit in numbers as appropriate to the parties requiring a copy.
    - Contractor shall wait for approval of all submittals prior to proceeding with procurement and installation of all items required in submittals.

Provide certification by the GC to the effect that, in the GC's opinion, after thorough evolution, the proposed substitution will result in work that in every significant respect is equal-to or better than the work required by the Contract Document, and that it will perform adequately in the application indicated. Include in the certification, the GC's waiver of rights to additional payment or time, which may subsequently be necessary because of the failure of the substitution to perform adequately.

Architect/Engineer's action: Within one week of receipt of the GC's request for substitution, the Architect/Engineer will request additional information or documentation. The Architect/Engineer will notify the GC either the acceptance or rejection of the proposed substitution.

Acceptance will be in the form of a change order.

Rejection will include a statement giving reasons for the rejection.

Deliver products to the site in the manufacturer's sealed container or other packaging system, complete labels and instructions for handling, storing, unpacking and installing.

Store heavy material in a manner that will not endanger the supporting construction. The GC's submittal and the Architect/Engineer's acceptance of shop drawings, product data or samples which relate to work not complying with requirements of the Contract Documents, does not constitute an acceptable or valid request for a substitution, nor approval thereof.

Provide products that comply with the requirements of the Contract Documents and that are undamaged and, unless otherwise indicated, unused at the time of installation. Provide products that are complete with all accessories, trim finish, safety guards and other devices and details needed for a complete installation and for the intended use and effect.

**SECTION 01700-- PROJECT CLOSE-OUT**

Project close-out is the term used to describe certain collective project requirements, indicating completion of the work that is to be fulfilled near the end of the Contract time in preparation for the final payment to the GC and the normal termination of the Contract.

Substantial Completion: In the progress payment request that coincides with, or is the first request following, the date substantial completion is claimed, show % completion for the portion either 100 of the Work claimed as "Substantially Complete", or list incomplete items, the value of incomplete work, and reasons for the work being incomplete.

Advise Owner of pending insurance changeover requirements.

- Submit specific warranties, workmanship/maintenance agreements, final certification and similar documents.
- Obtain and submit releases assigning the Owner's full, unrestricted use of the work and access to services and utilities. Where required, include occupancy permits, operating certificate and similar releases.
- Deliver tools, spare parts, extra stock of material and similar physical items to the Owner.
- Make the final changeover of locks and transmit the keys to the Owner. Advise the Owner's personnel of the changeover in security provisions.
- Complete startup testing of systems and instruction of the Owner's operating and maintenance personnel, and deliver operating and maintenance manuals. Discontinue at change over and remove temporary facilities and services from the project site, along with construction tools and facilities, mockups and similar elements.
- Complete final clean up requirements, including touch up painting and repair of marred surfaces.
- Make the final changeover of locks and transmit the keys to the Owner. Advise the Owner's personnel of the changeover in security provisions.
- Complete startup testing of systems and instruction of the Owner's operating and maintenance personnel, and deliver operating and maintenance manuals. Discontinue at change over and remove temporary facilities and services from the project site, along with construction tools and facilities, mockups and similar elements.
- Complete final clean up requirements, including touch up painting and repair of marred surfaces.
- Follow the initial inspection, the Architect will either prepare the certificate of substantial completion, or will advise the GC of work which must be performed before the certificate will be issued. The Architect will repeat the inspection when requested and when assured that the Work has been substantially completed.
- Final Acceptance: Complete the following before requesting the Architect/Engineer's final inspection for certification of final acceptance, and final payment as required by the General Conditions. List known exceptions, if any, in the request.
- Submit the final payment request with final releases and supporting documentation not previously submitted and accepted. Include certificate of insurance for products and completed operations where required.
- Submit a certified copy of the Architect/Engineer's final punch-list (Itemized work to be completed or corrected, stating that each item), has been completed or otherwise resolved for acceptance and has been endorsed and dated by the Architect/Engineer.
- Submit final meter readings for utilities, a measured record of stored fuel, and similar data either on the date of substantial completion, or else when the Owner took possession of and responsibility for corresponding elements of work.
- Submit consent of surety.
- Submit a final liquidated damages settlement statement, acceptable to the Owner.
- Submit evidence of final, continuing insurance coverage complying with insurance requirements.

**SECTION 06100-- ROUGH CARPENTRY**

Provide grounds, blockings, nailing strips, furring, curbs etc. wherever shown or required to afford proper support of construction and material including the work of other trades. Dress to sizes shown or required and set true at the proper lines and levels, block or shim as required and securely fasten them in place to receive finished work. Provide and afford adequate temporary protection to finished work installed by other trades, such as saddles, door frames, stone work, and entrances which may be damaged during the course of the work on this project. Remove and install temporary protection and enclosures when need of same ceases or when temporarily interfere with the progress of the work. Provide all rough framing hardware, such as nails, screws, bolts, anchors, hangers, clamps, slips, inserts, miscellaneous fastenings and similar items of the best quality and the proper size and kind to adequately secure the work together in place, in a rigid, safe and substantial manner.

Nailing and bolting of wood members shall conform to the minimum requirements of the "BOCA - National Building Code," Section 2305.0, Thirteenth Edition. Recess all fastenings as required, to conform with requirements of finish materials unless otherwise noted.

Secure rough carpentry to steel members: clips, hangers, or straps welded or bolted to the steel and securely nail, screw or bolt to the woodwork, as required by conditions.

Provide products that comply with the requirements of the Contract Documents and that are undamaged and, unless otherwise indicated, unused at the time of installation. Provide products that are complete with all accessories, trim finish, safety guards and other devices and details needed for a complete installation and for the intended use and effect.

Architect/Engineer's action: Within one week of receipt of the GC's request for substitution, the Architect/Engineer will request additional information or documentation. The Architect/Engineer will notify the GC either the acceptance or rejection of the proposed substitution.

Acceptance will be in the form of a change order.

Rejection will include a statement giving reasons for the rejection.

Deliver products to the site in the manufacturer's sealed container or other packaging system, complete labels and instructions for handling, storing, unpacking and installing.

Store heavy material in a manner that will not endanger the supporting construction. The GC's submittal and the Architect/Engineer's acceptance of shop drawings, product data or samples which relate to work not complying with requirements of the Contract Documents, does not constitute an acceptable or valid request for a substitution, nor approval thereof.

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Secure rough carpentry to steel members: clips, hangers, or straps welded or bolted to the steel and securely nail, screw or bolt to the woodwork, as required by conditions.

Provide products that comply with the requirements of the Contract Documents and that are undamaged and, unless otherwise indicated, unused at the time of installation. Provide products that are complete with all accessories, trim finish, safety guards and other devices and details needed for a complete installation and for the intended use and effect.

**SECTION 06400-- FINISH CARPENTRY**

Part 1 - GENERAL

Unless otherwise shown or specified, all material and workmanship for items of this section shall conform to AWI "Premium Grade" requirements. Fabricator must be a firm that can demonstrate that it has successfully produced woodwork similar to the quality specified and in equivalent quantities. Installation methods and materials shall be as specified by the same firm, which fabricated them. Afford the Architect and Owner every facility for observation of work at the mill or shop at such times as they name. Provide written guarantee, bonded by an acceptable Surety company that all work under this section shall be free from defects in workmanship and materials for two (2) years from the date of final acceptance by the Owner of the entire work. Defective work shall be removed and replaced with acceptable work at no cost to the Owner, and at such times as designated by Owner.

The following will be considered defects without being limited thereto:

- Permanent etching, staining and other deterioration of finishes.
- Distortion, warpage, opening up of joints, telegraphing of cores, delamination of veneers, edges or other finishing materials, failures in fastening and anchorage, sagging of panels and doors.
- Warping of doors (over 1/8. in 7'-0").
- Discoloration, fading and staining of finishes.
- Development of delamination, bubbles, blisters, wrinkles, loose edges, or open seams or wood face veneers.

All materials and work of this Section shall be properly crated, wrapped and protected for shipment and shall be properly protected from damage from time of shipping from shop to final acceptance of work. Cover, ventilate, and protect work of this Section from damage caused by weather, moisture, heat, staining, dirt, abrasions, any other causes which may adversely affect appearance or use, or which may cause deterioration of finish, warpage, distortion, heating, opening of joints and seams, delamination, loosening etc. of work of this Section.

Part 2 - PRODUCTS

Lumber: Except as otherwise indicated, shall be square edged, sized straight, sound, kiln-dried lumber conforming to AWI Section 100.

Solid hardwood for opaque (paint) finish: Grade II, basswood, birch, gums or hard maple.

Panel Products: Except as otherwise indicated, shall have particle board core, cross bonding veneers, face and back veneers as specified and conforming to AWI Section 200.

Particulate board core (45#, Density "Karpine" by Willamette Industries or equal) fire-retardant treated, UL labbed flame spread 25 or less, conforming to CS 238--88.

Cross building veneers shall be a diffuse porous low density species such as soft maple or Basswood. Cross bonding veneers shall be smoothly and accurately cut to 1/64" thick, shall be free of knots, knot holes, rot splits, or other imperfections, shall be continuous without scoring, laid with grain perpendicular of face and back veneers.

Edges of exposed and semi-exposed plywood indicated to receive hardware (claw nails) veneers shall have solid wood edge bonding of profile shown, and shall be of same species and match color and graining of face veneer. Incomplete or of obligations that have not been fulfilled, but are required for final acceptance.

Edges bonding shall be tongue into core groove and pressure glued to core. Unless shown otherwise, edge bonding shall be milled or cased. Edge bonding shall conceal cross bonding veneers.

Plastic laminate: .051 inches thick surfacing material or equal; finish and colors as selected. Backing sheet or balancing sheet shall be used to prevent warping. Water resistant adhesive shall be used for laminating, per manufacturer's recommendations.

Hardwood veneer for opaque (paint) finish: Paint grade birch or other approved hardwood veneer plywood conforming to commercial standard C3335.

Part 1 - GENERAL

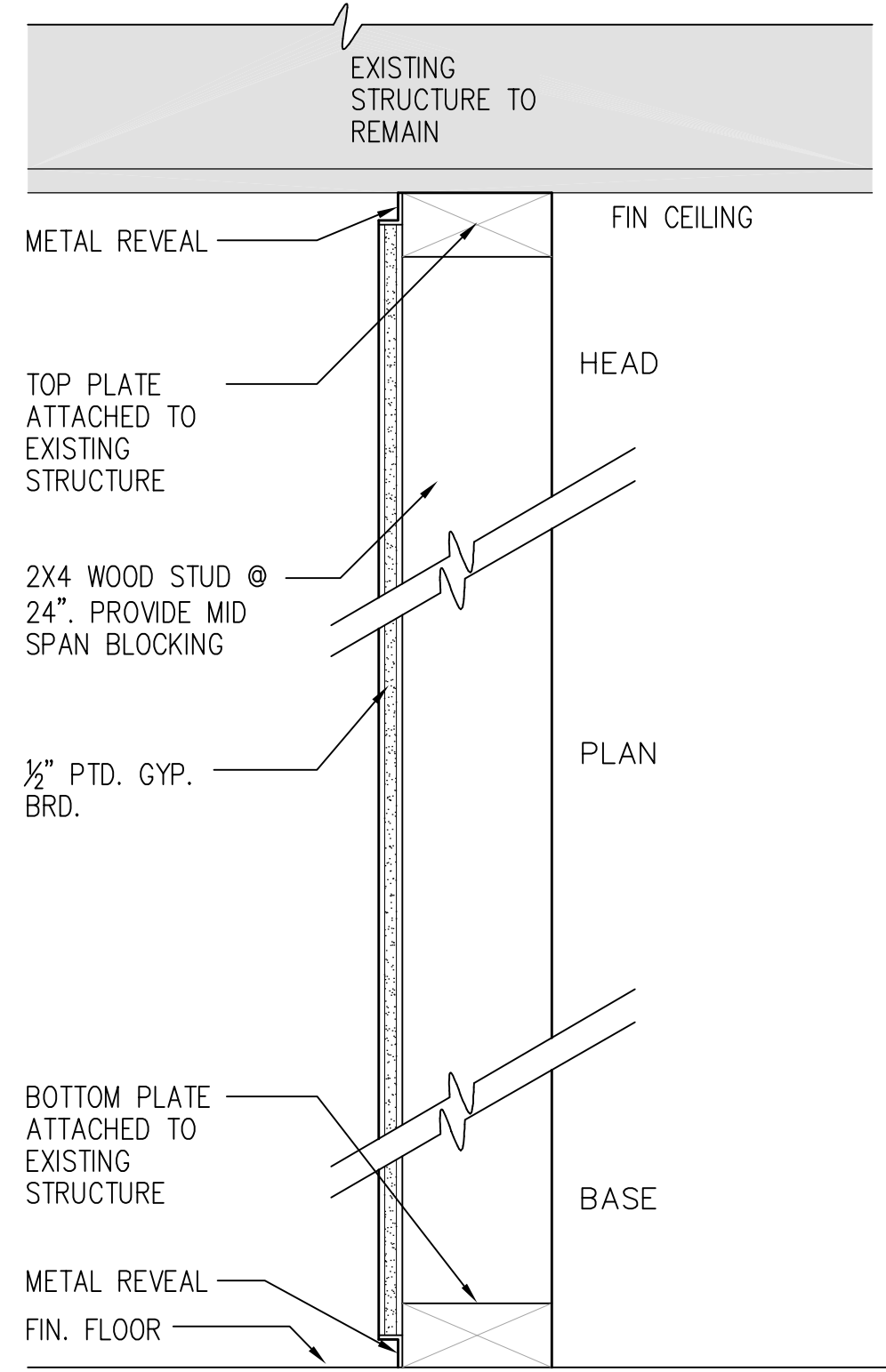
Part 2 - PRODUCTS

Lumber: the best of its respective kinds, as best suited for the particular purpose intended, free from shakes, loose knots, or other imperfection which might impair its strength, durability, or appearance.

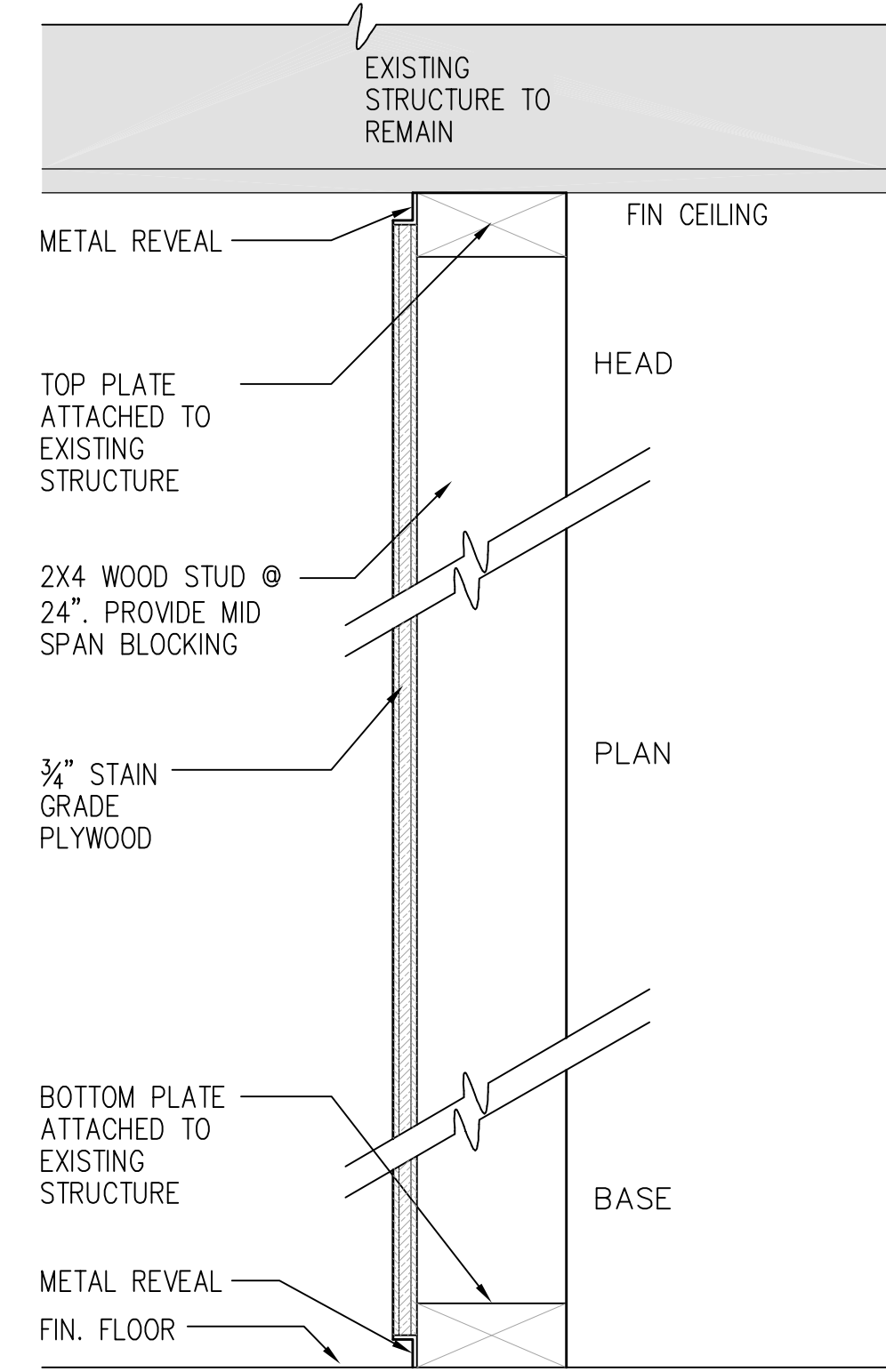
Grade stamp to contain symbol of grading agency certified by Board of Review, American Lumber Standards Committee, mill number or name, grade lumber species grouping or combination designation rules under which grades were applicable and condition of seasoning at time of manufacturer.

Rough lumber and plywood: pressure impregnated with fire protective chemicals to provide a fire hazard classification of

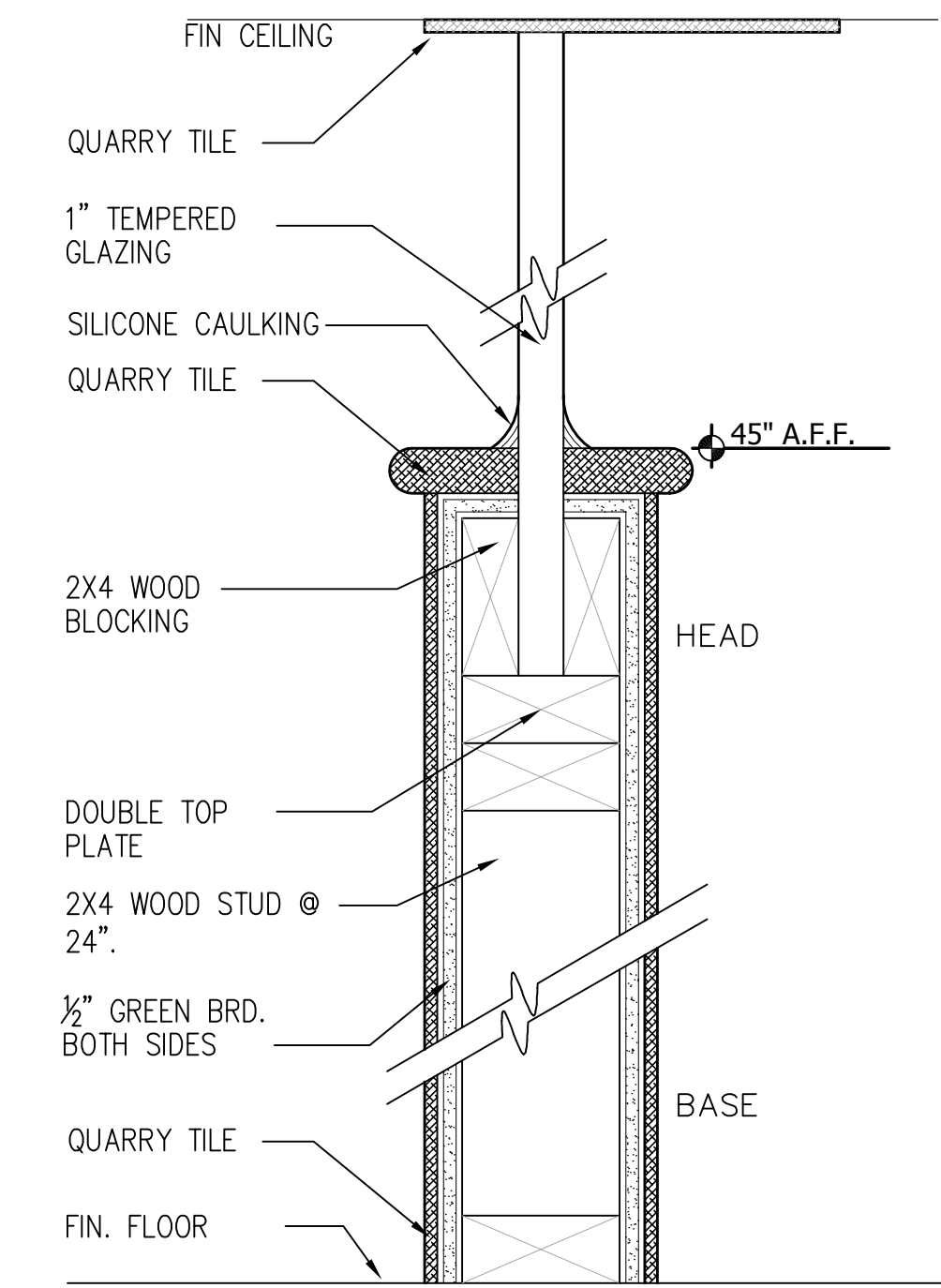




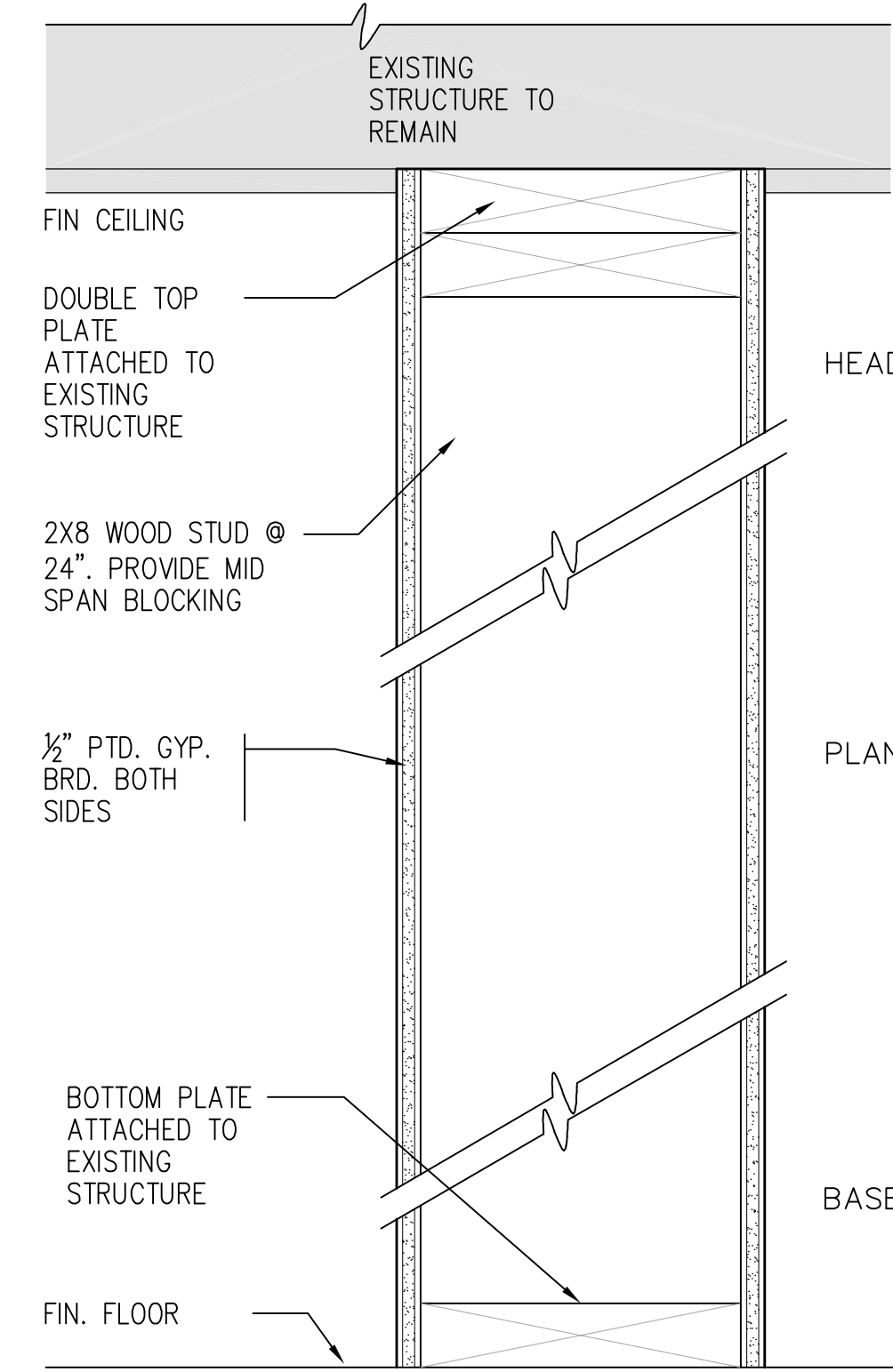
H1 2x4 STUD @ 24" O.C., WITH 1/2" PTD. GYP. BRD.



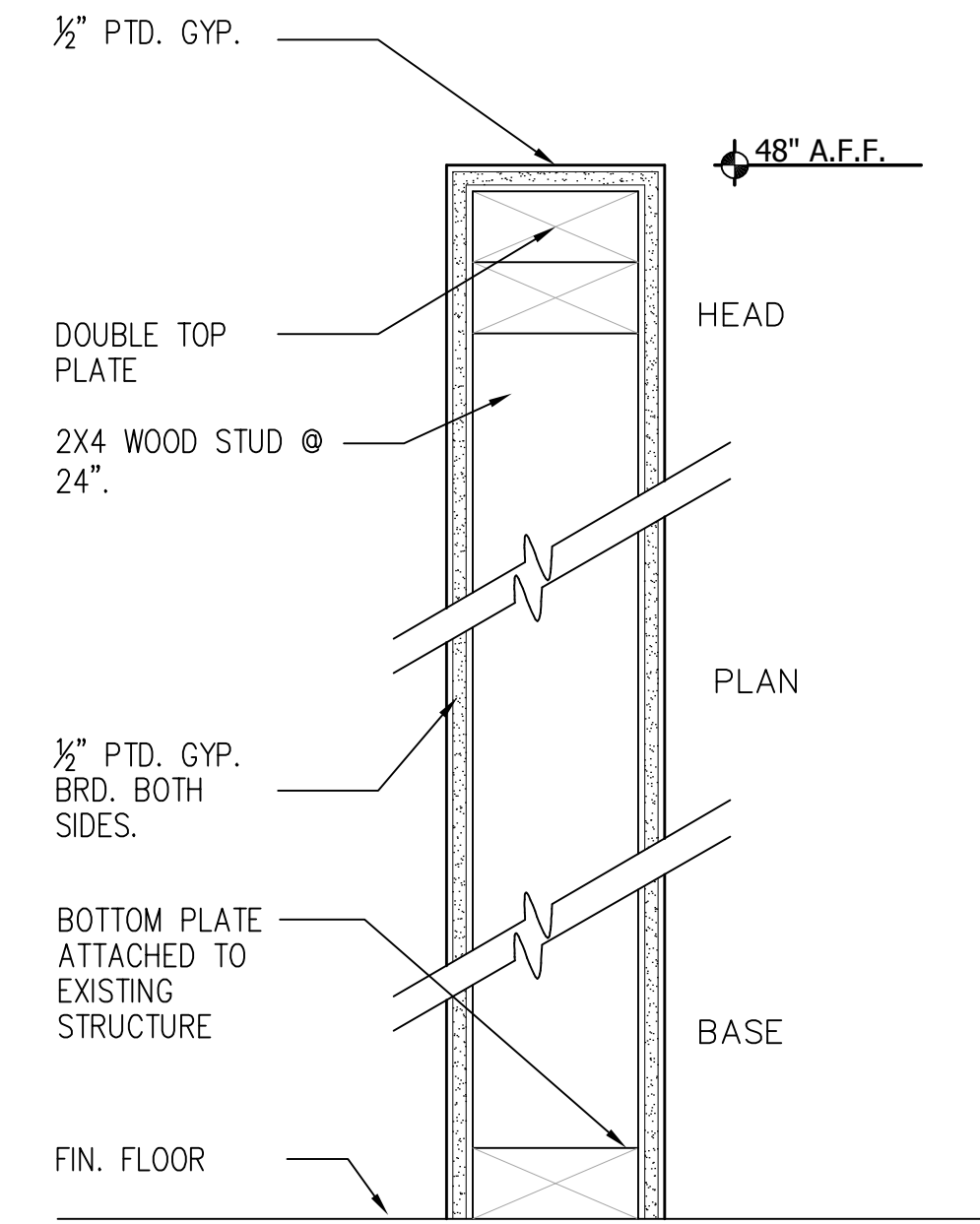
G1 2x4 STUD @ 24" O.C., WITH 1/2" STAINED GRADE PLYWOOD.



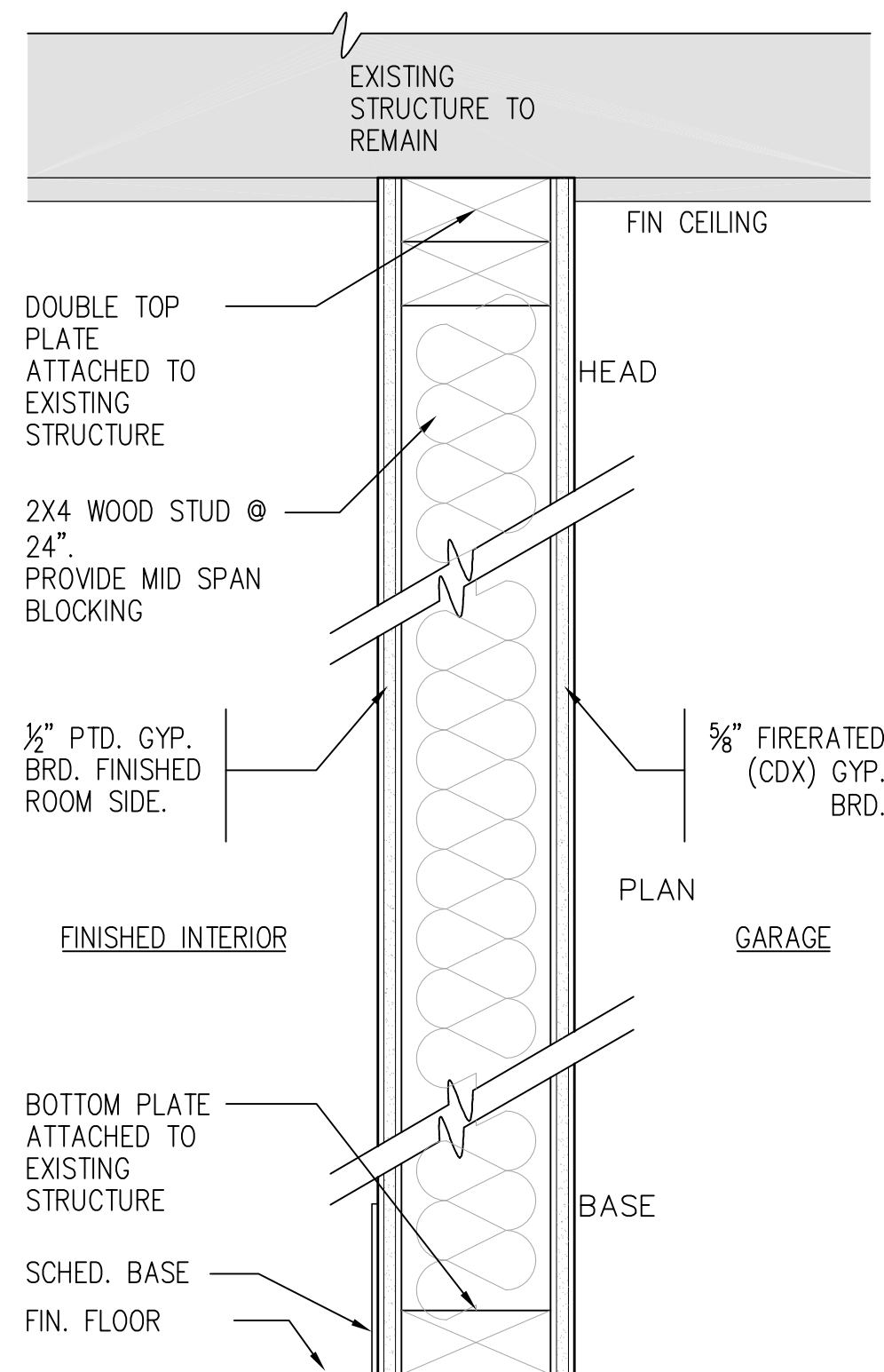
F1 42" HIGH STUD // GLASS TO CEILING WALL. STUDS @ 24" O.C., WITH 1/2" GREEN BRD. AND Q.T.



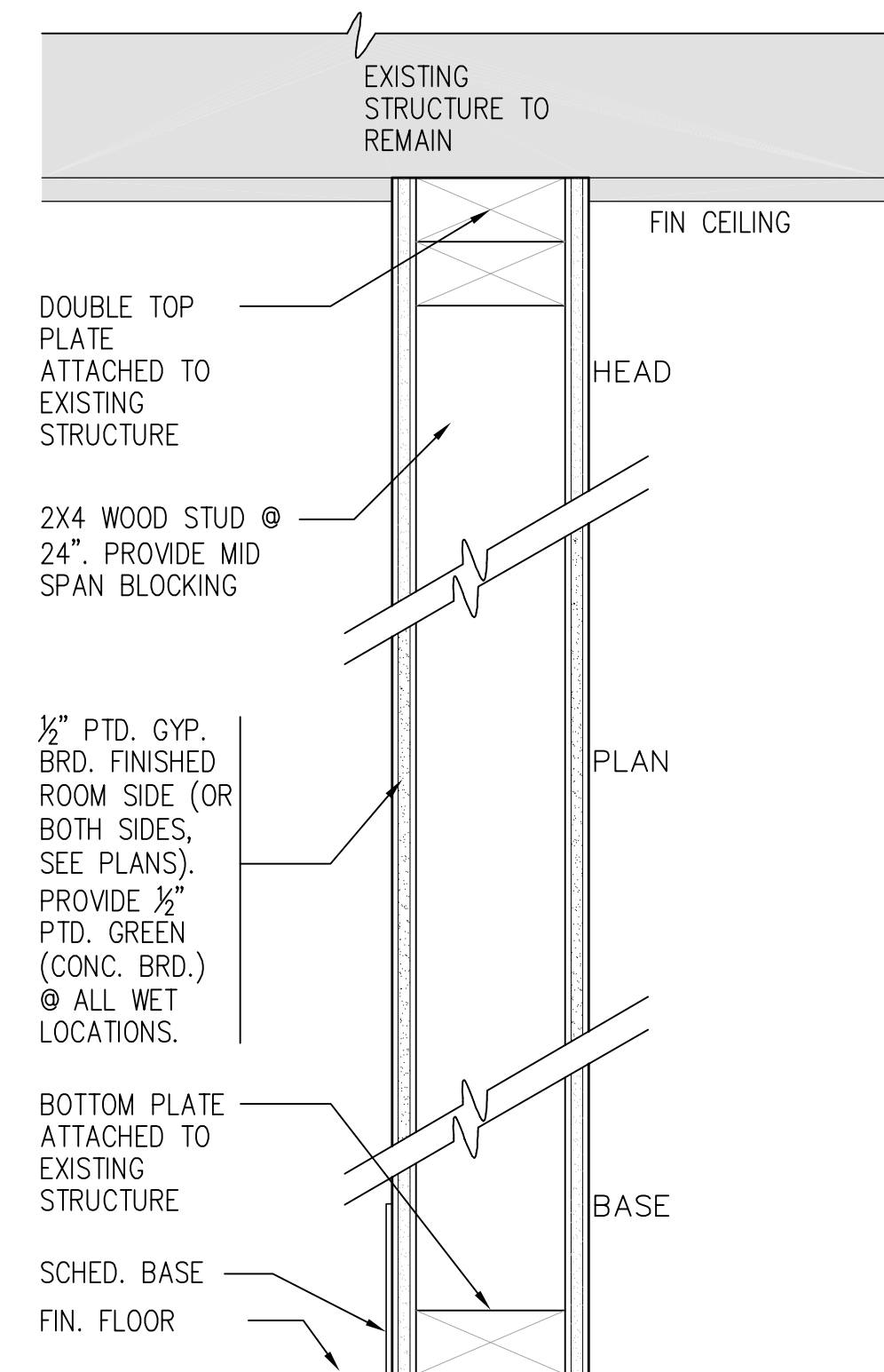
D1 2x8 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES.



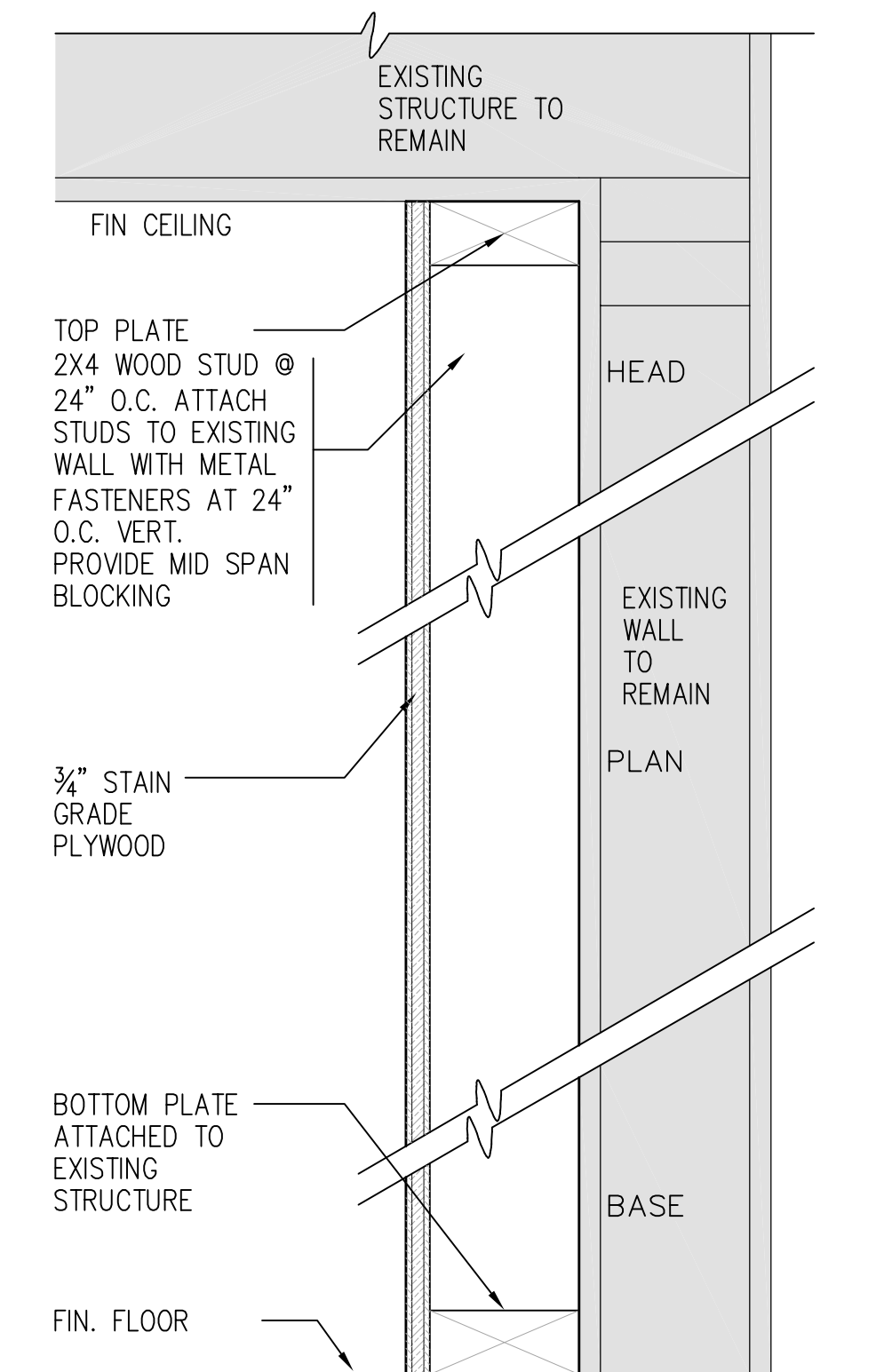
C1 2x4 STUD 48" WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES AND TOP.



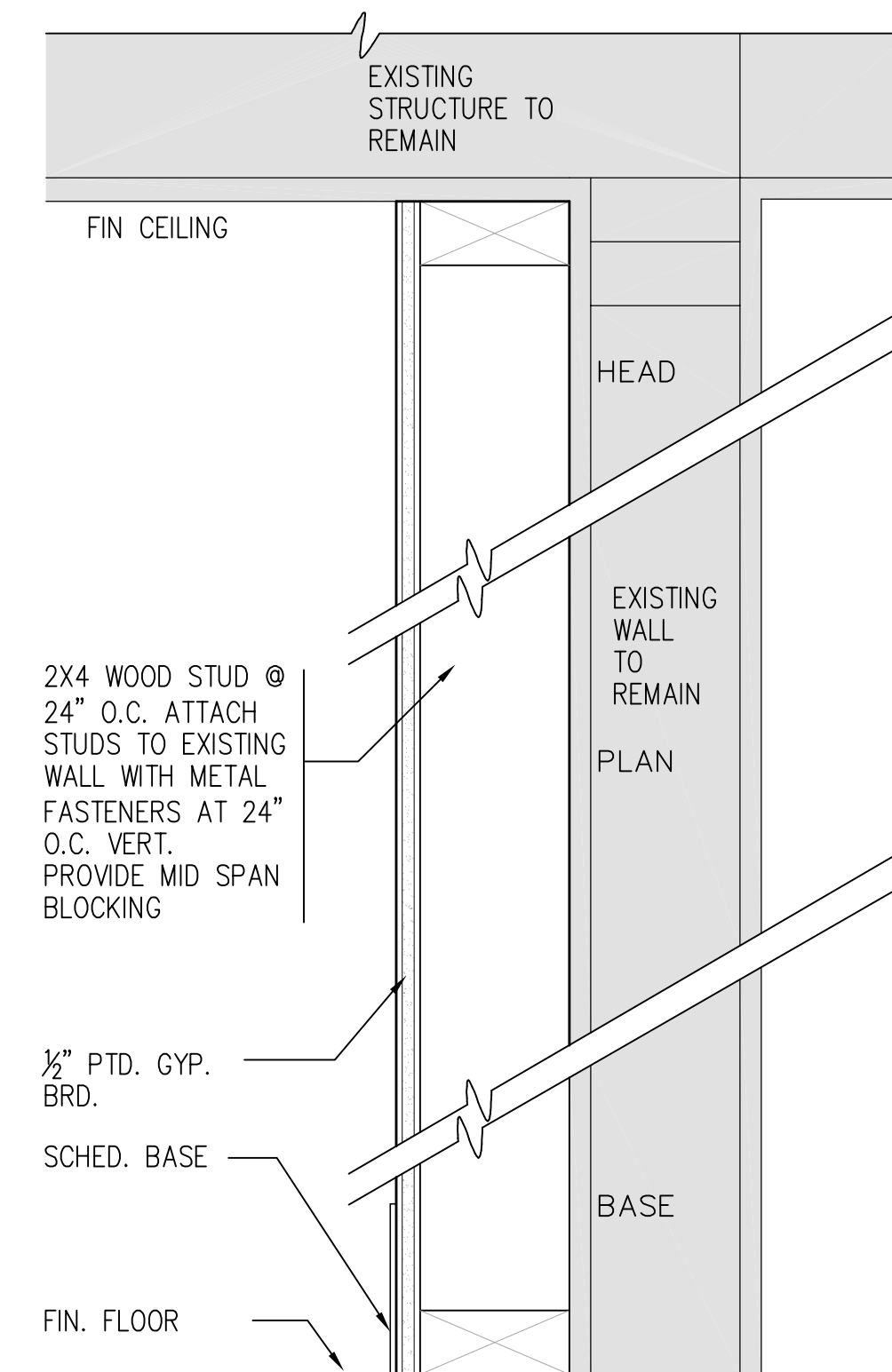
B2 2x4 STUD WALL @ 16" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, 5/8" FIRERATED (CDX) GYP. BRD., GARAGE SIDE. PROVIDE R-19 BATT INSULATION.



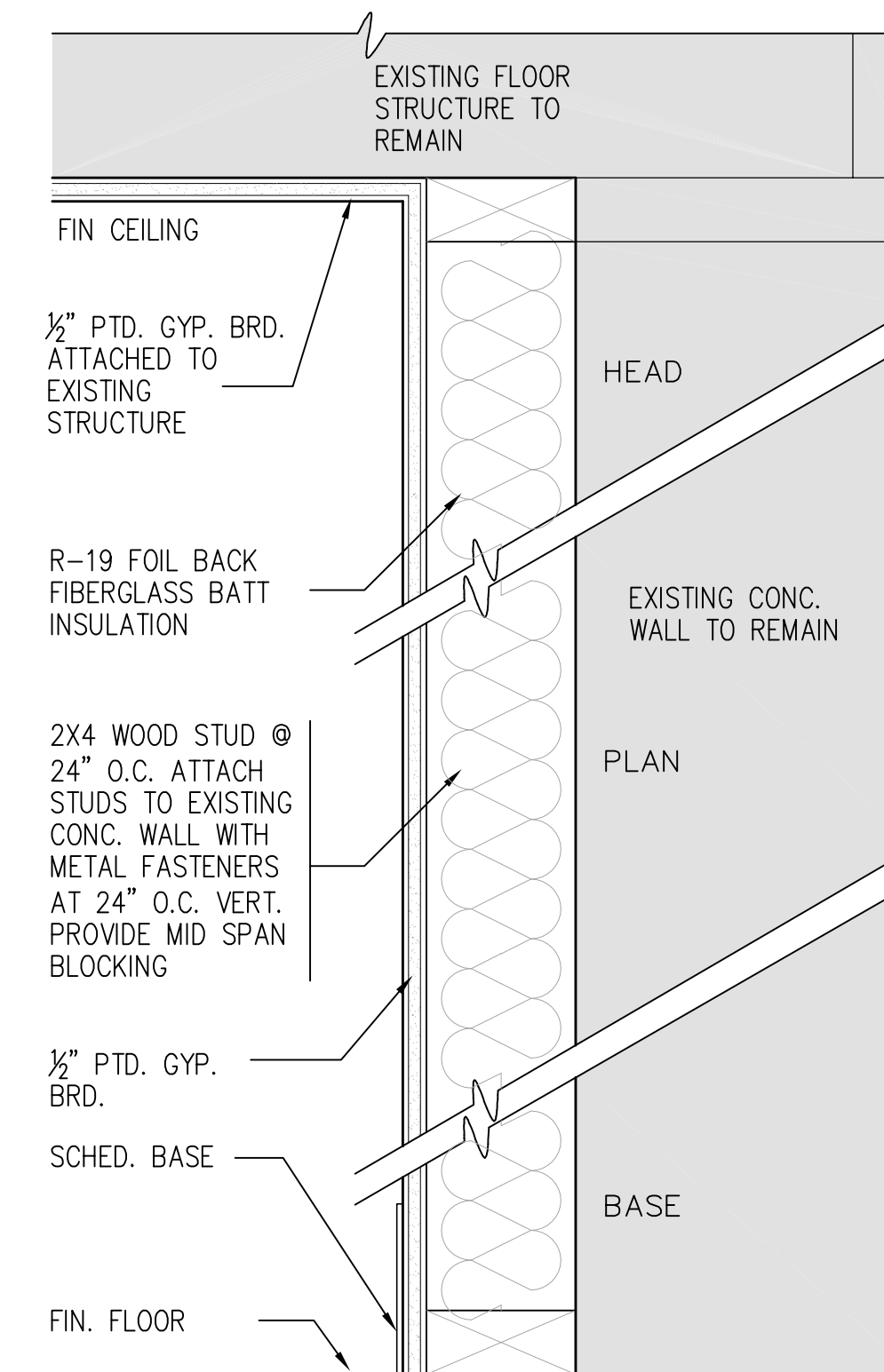
B1 2x4 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE (OR BOTH SIDES, SEE PLANS). PROVIDE 1/2" PTD. GREEN (CONC. BRD.) @ ALL WET LOCATIONS. PROVIDE SOUND ATTENUATING BATT INSULATION AS INDICATED ON PLANS. TURN STUDS AS REQUIRED FOR FURRING.



A3 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" STAINED GRADE PLYWOOD, FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTNERS.



A2 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTNERS. TURN STUDS AS REQUIRED / INDICATED.



A1 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, W/ R-19 BATT INSULATION. ATTACH NEW STUDS TO EXISTING CONC. WALL.



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3033 WWW.RICHOSTELLEY.COM

WALL TYPES

NOT TO SCALE. THIS SET OF DRAWINGS IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

ISSUE DATE	DATE	DESCRIPTION
08.23.2010	08.23.2010	CLIENT SUBMISSION
09.30.2010	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

**VOID**

ROOM SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING		NOTES
					HEIGHT	FINISH	
<b>BASEMENT</b>							
B - 001	HALL	-	-	-	8'-0" (V.I.F.)	-	
B - 002	OFFICE				8'-0" (V.I.F.)		
B - 003	LIBRARY				8'-0" (V.I.F.)		
B - 004A	HALL				8'-0" (V.I.F.)		
B - 004B	HALL				8'-0" (V.I.F.)		
B - 005	BATH				8'-0" (V.I.F.)		
B - 006	WALK-IN-CLOSET (W.I.C.)				8'-0" (V.I.F.)		
B - 007A	EXERCISE ROOM				8'-0" (V.I.F.)		
B - 007B	EXERCISE ROOM				8'-0" (V.I.F.)		
B - 008A	MECHANICAL (MECH ) ROOM				8'-0" (V.I.F.)		
B - 008B	MECHANICAL (MECH ) ROOM				8'-0" (V.I.F.)		
B - 009	STAIR				8'-0" (V.I.F.)		
<b>FIRST FLOOR</b>							
1 - 001	ENTRY	-	-	-	8'-0" (V.I.F.)	-	
1 - 001A	EXISTING COVERED PORCH						
1 - 003	LIVING ROOM						
1 - 004	ENTRY						
1 - 005	WATER CLOSET (W.C.)						
1 - 006	HALL						
1 - 007	BREAKFAST						
1 - 007A	EXISTING DECK						
1 - 008	KITCHEN						
1 - 009	PANTRY						
1 - 010	EXISTING GARAGE						
1 - 011	STAIR						
<b>SECOND FLOOR</b>							
2 - 001A	HALL	-	-	-	8'-0" (V.I.F.)	-	
2 - 001B	HALL						
2 - 002	MASTER BEDROOM						
2 - 002A	CLOSET						
2 - 003	MASTER BATH						
2 - 004	BATHROOM						
2 - 005	LAUNDRY						
2 - 006	BEDROOM #1						
2 - 007	WALK-IN-CLOSET (W.I.C.)						
2 - 008	WALK-IN-CLOSET (W.I.C.)						

MATERIAL SCHEDULE

MARK NO.	ITEM	MANUFACTURER	SPECIFICATIONS	REMARKS	MARK NO.	ITEM	MANUFACTURER	SPECIFICATIONS	REMARKS
EXG-1	EXISTING			EXISTING FINISH TO REMAIN. PATCH AND REPAIR TO MATCH. EXISTING, AS REQUIRED BY NEW WORK.	GT-2	GLASS TILE	T.B.D.	T.B.D.	
HWF-1	HARDWOOD FLOORING	T.B.D.	T&G SELECT CHERRY STRIP FLOORING	T&G SELECT CHERRY STRIP FLOORING ST-1 & (2) COATS SATIN FINISH POLYURETHANE	GT-3	GLASS TILE	T.B.D.	T.B.D.	
HWF-2	EXISTING HARDWOOD FLOORING		REFINISH EXISTING HWF.	PATCH FLOOR BY TOOTHING IN FLOORING TO MATCH AREAS AFFECTED BY DEMOLITION AND NEW WORK. SAND, SCREEN, & REFINISH ENTIRE FLOOR WITH ST-1 & (2) COATS STAIN FINISH POLYURETHANE	QT-1	QUARRY TILE	T.B.D.	T.B.D.	
P-1	PAINT	DURON, OR EQUAL	DRY-LOK. 1 COAT PRIMER & (2) FINISH COATS. COLOR T.B.D.		QT-2	QUARRY TILE	T.B.D.	T.B.D.	
PL-1	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.		QT-3	QUARRY TILE	T.B.D.	T.B.D.	
PL-2	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.		QT-4	QUARRY TILE	T.B.D.	T.B.D.	
PL-3	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.		QT-5	QUARRY TILE	T.B.D.	T.B.D.	
PL-4	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.		QT-6	QUARRY TILE	T.B.D.	T.B.D.	
PL-5	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.		QT-7	QUARRY TILE	T.B.D.	T.B.D.	
PL-6	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS		PLM-1	LAMINATE	T.B.D.	COLOR: WHITE	
PL-7	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS		GR-1	GRANITE SURFACE	T.B.D.	T.B.D.	
PL-8	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS		GR-2	GRANITE SURFACE	T.B.D.	T.B.D.	
PL-9	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS		GR-3	GRANITE SURFACE	T.B.D.	T.B.D.	
PL-10	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS						
PL-11	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS						
PL-12	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS						
PL-13	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS						
PL-14	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS						
PL-15	LATEX FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS						
PO-1	QUALKYD SEMI GLOSS FINISH PAINT	DURON, OR EQUAL	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS						
CPT-1	CARPET	T.B.D.	T.B.D.						
CPT-2	CARPET	T.B.D.	T.B.D.						
CPT-3	CARPET	T.B.D.	T.B.D.						
VCT-1	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
VCT-2	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
VCT-3	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
VCT-4	VINYL COMPOSITE TILE	T.B.D.	T.B.D.						
ST-1	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: NATURAL 209						
ST-2	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: GOLDEN OAK 210B						
ST-3	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: EBONY 271B						
ST-4	WOOD BASE STAIN	MINIWAX OR EQUAL	COLOR: RED OAK 215						
PLY-1	STAIN GRADE PLYWOOD	T.B.D.	SPECIES: MAPLE						
PLY-2	STAIN GRADE PLYWOOD	T.B.D.	SPECIES: BEECH						
PLY-3	STAIN GRADE PLYWOOD	T.B.D.	SPECIES: OAK						
HRWD-1	STAIN GRADE HARDWOOD	T.B.D.	SPECIES: MAPLE						
T-1	WOOD TRIM	T.B.D.	MATCH EXISTING						
WB-1	WOOD BASE TRIM	T.B.D.	MATCH EXISTING						
CT-1	CERAMIC TILE	T.B.D.	T.B.D.						
CT-2	CERAMIC TILE	T.B.D.	T.B.D.						
CT-3	CERAMIC TILE	T.B.D.	T.B.D.						
GT-1	GLASS TILE	T.B.D.	T.B.D.						
GT-1	GLASS TILE	T.B.D.	T.B.D.						



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA



**ROOM AND MATERIAL SCHEDULES**

ISSUE DATE	DESCRIPTION
08.23.2010	CLIENT SUBMISSION
09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID





## CABINET SCHEDULE

NO.	MANUFACTURER	MANUFACTURER ID	TYPE	STYLE	W	D	H	WOOD SPECIES	DOOR SHAPE	WOOD FINISH	HARDWARE	HARDWARE MANUF.	H. MANUF. ID	HARDWARE FINISH NOTES
BC-1	KRAFTMAID	B_#FWT3024	BASE W/ DBL DOOR W/ FULL TRAY	FULL OVERLAY	30"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-2	KRAFTMAID	B_#FH2412	BASE W/ DBL DOOR	FULL OVERLAY	24"	12"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-3	KRAFTMAID	B_#FH3012	BASE W/ DBL DOOR	FULL OVERLAY	30"	12"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-4	KRAFTMAID	B_#2FWT2124	BASE DBL DOOR W/ 2 FULL TRAY	FULL OVERLAY	21"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-5	KRAFTMAID	BPP924	BASE PANTRY PULLOUT	FULL OVERLAY	9"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-6	KRAFTMAID	B924	BASE SINGLE DOOR W/ TRAY DIVIDER	FULL OVERLAY	9"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-7	KRAFTMAID	B_#FH1812	BASE SINGLE DOOR	FULL OVERLAY	18"	12"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-8	KRAFTMAID	B_#4T3924	BASE DBL DOOR W/ 4 TRAYS	FULL OVERLAY	39"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-9	KRAFTMAID	SBCC3627	SINK BASE W/ CLIPPED CORNERS	FULL OVERLAY	36"	27"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-10	KRAFTMAID	BWBT_#2*FH	TOP MOUNT WASTEBASKET FULL HGT.	FULL OVERLAY	15"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-11	KRAFTMAID	BD_#3	BASE W/ 3 DRAWERS	FULL OVERLAY	12"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-12	KRAFTMAID	BMC2724	BASE MIRCOWAVE W/ DRAWER	FULL OVERLAY	27"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-13	KRAFTMAID	DB1224	BASE W/ 4 DRAWERS	FULL OVERLAY	12"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-14	KRAFTMAID	SB2424	VANITY SINK BASE	FULL OVERLAY	24"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
BC-15	KRAFTMAID	B_#FWT3624	BASE W/ DOUBLE DOOR / FULL TRAY	FULL OVERLAY	36"	24"	34-1/2"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-1	KRAFTMAID	MSP242496	TALL PANTRY	FULL OVERLAY	24"	24"	96"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-2	KRAFTMAID	UC302496	UTILITY PANTRY	FULL OVERLAY	24"	24"	96"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-3	KRAFTMAID	PS242496	TALL PANTRY	FULL OVERLAY	24"	24"	96"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-4	KRAFTMAID	UC361296	UTILITY PANTRY	FULL OVERLAY	36"	12"	96"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
PC-5	KRAFTMAID	UC241284	UTILITY PANTRY	FULL OVERLAY	24"	12"	84"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
RC-1	KRAFTMAID	RTC392496	REFRIGERATOR PANTRY	FULL OVERLAY	39"	24"	96"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-1	KRAFTMAID	W	WALL CABINET W/ 2 DOORS	FULL OVERLAY	30"	12"	42"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-2	KRAFTMAID	W	WALL CABINET W/ 2 DOORS	FULL OVERLAY	24"	12"	42"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-3	KRAFTMAID	W	WALL CABINET	FULL OVERLAY	15"	12"	42"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-4	KRAFTMAID	W	WALL CABINET	FULL OVERLAY	24"	12"	18"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-5	KRAFTMAID	W	WALL CABINET	FULL OVERLAY	15"	12"	18"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-6	KRAFTMAID	W	WALL CABINET	FULL OVERLAY	30"	12"	36"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM
W-7	KRAFTMAID	W	WALL CABINET	FULL OVERLAY	36"	12"	36"	MAPLE	EVERY	NATURAL	WHISTLE KNOB	KRAFTMAID	3025	ALUMINUM

## EQUIPMENT SCHEDULE

NO.	LOCATION (RM NO.)	ITEM	MANUFACTURER	TYPE	MANUF. ID	SUPPLIED BY	INSTALLED BY	NOTES
1	OFFICE (B-002)	T.V.	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	WALL MOUNTED @ 5'-0" A.F.F.
2	OFFICE (B-002)	T.V. WALL MOUNT	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	CORRDINATE LOCATION W/ OWNER
3	OFFICE (B-002)	PRINTER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
4	OFFICE (B-002)	COPIER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
5	MECH ROOM (B-008A)	EXISTING FURN	-	-	-	-	-	-
6	MECH ROOM (B-008B)	EXISTING H.W.H.	-	-	-	-	-	-
7	MECH ROOM (B-008B)	EX'G WATER FILTER	-	-	-	-	-	-
8	OFFICE (B-002)	CABLE T.V. RECIEVER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
9	EXERISE ROOM (B-007B)	T.V.	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	WALL MOUNTED @ 6'-0" A.F.F.
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	CORRDINATE LOCATION W/ OWNER
11	OFFICE (B-002)	CABLE T.V. RECIEVER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
12	FAMILY ROOM (1-003)	GAS FIREPLACE	REGENCY	SUNRISE	P33	OWNER	CONTRACTOR	Regency P33 Sunrise Bronze
13	FAMILY ROOM (1-003)	T.V.	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	WALL MOUNTED @ 5'-0" A.F.F.
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	CORRDINATE LOCATION W/ OWNER
15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	T.B.D.	T.B.D.	T.B.D.	OWNER	OWNER	-
16	ENTRY (1-001)	DOOR BUZZER	T.B.D.	T.B.D.	T.B.D.	OWNER	CONTRACTOR	-
17	KITCHEN (1-008)	MICROWAVE	GE	PROFILE	PSB120INSS	OWNER	CONTRACTOR	Advantium? 120V - 30 in. Wall Oven
18	KITCHEN (1-008)	COOKTOP / OVEN	GE	PROFILE	PGB918SEMSS	OWNER	CONTRACTOR	30" Free-Standing Double Oven Range
19	KITCHEN (1-008)	DISHWASHER	GE	PROFILE	PDW1180RSS	OWNER	CONTRACTOR	Interior Built-In Dishwasher with Hidden Controls
20	KITCHEN (1-008)	REFRIGERATOR	GE	PROFILE	PFSS9KYSS	OWNER	CONTRACTOR	ENERGY STAR? 28.5 Cu. Ft. French-Door Refrigerator
21	EX'G GARAGE (1-010)	REFRIGERATOR	EXISTING	-	-	OWNER	CONTRACTOR	RELOCATED
22	KITCHEN (1-008)	RANGE HOOD	GE	PROFILE	PV970NSS	OWNER	CONTRACTOR	30" Wall-Mount Hood
23	KITCHEN (1-008)	DISPOSAL	T.B.D.	T.B.D.	T.B.D.	CONTRACTOR	CONTRACTOR	-
24	LAUNDRY (2-005)	WASHER	EXISTING	-	-	OWNER	CONTRACTOR	RELOCATED FROM BASEMENT
25	LAUNDRY (2-005)	DRYER	EXISTING	-	-	OWNER	CONTRACTOR	RELOCATED FROM BASEMENT
26	MASTER BATH (2-003)	HAIRDRYER	T.B.D.	-	-	OWNER	OWNER	-

## PLUMBING SCHEDULE

NO.	LOCATION (RM NO.)	ITEM	MANUFACTURER	TYPE	MANUF. ID	NOTES
P1	KITCHEN (1-008)	DOUBLE SINK	AMERICAN STANDARD	CULINAIRE 33"	7502.000	Undercounter Mount
P2	KITCHEN (1-008)	PULLDAOWN FAUCET	AMERICAN STANDARD	PEKOE	4332.300	Pull Down Faucet
P3	MASTER BATH (2-003)	SINK	AMERICAN STANDARD	Boulevard	0610.000	COLOR - BLACK; PROVIDE MOUNTING KIT.
P4	MASTER BATH (2-003)	FAUCET	AMERICAN STANDARD	GREEN TEA	7010.801	Widespread Lavatory with Pull-Out Spout; STAINLESS STEEL FINISH
P5	BATH (2-004)	SINK	AMERICAN STANDARD	Boulevard	0610.000	COLOR - BLACK; PROVIDE MOUNTING KIT.
P6	BATH (2-004)	FAUCET	AMERICAN STANDARD	GREEN TEA	7010.801	Widespread Lavatory with Pull-Out Spout; STAINLESS STEEL FINISH
P7	MASTER BATH (2-003)	CENTRAL THERMOSTAT	AMERICAN STANDARD	GREEN TEA	T010.730	SHOWER CONTROLLER; STAINLESS STEEL FINISH
P8	MASTER BATH (2-003)	SHOWERHEAD	AMERICAN STANDARD	-	1660.651	MULTIFUNCTIONAL RAIN SHOWERHEAD; THREE FUNCTION; STAINLESS STEEL
P9	BATH (2-004)	CENTRAL THERMOSTAT	AMERICAN STANDARD	GREEN TEA	T010.730	SHOWER CONTROLLER; STAINLESS STEEL FINISH
P10	BATH (2-004)	SHOWERHEAD	AMERICAN STANDARD	-	1660.651	MULTIFUNCTIONAL RAIN SHOWERHEAD; THREE FUNCTION; STAINLESS STEEL
P11	LAUNDRY (2-005)	RELOCATED UTILITY SINK	-	-	-	RELOCATED FROM BASEMENT
P12	MASTER BATH (2-003)	RELOCATED TOILET	-	-	-	RELOCATED FROM MASTER BATH. REPLACE FLUSH VALUE, FLOAT & GASKETS. CLEAN TO LIKE NEW CONDITION.
P13	BATH (2-003)	RELOCATED TOILET	-	-	-	RELOCATED FROM BATH. REPLACE FLUSH VALUE, FLOAT & GASKETS. CLEAN TO LIKE NEW CONDITION.



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

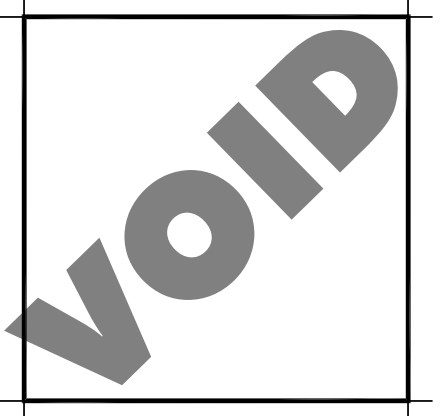


## CABINET / EQUIPMENT PLUMBING SCHEDULES

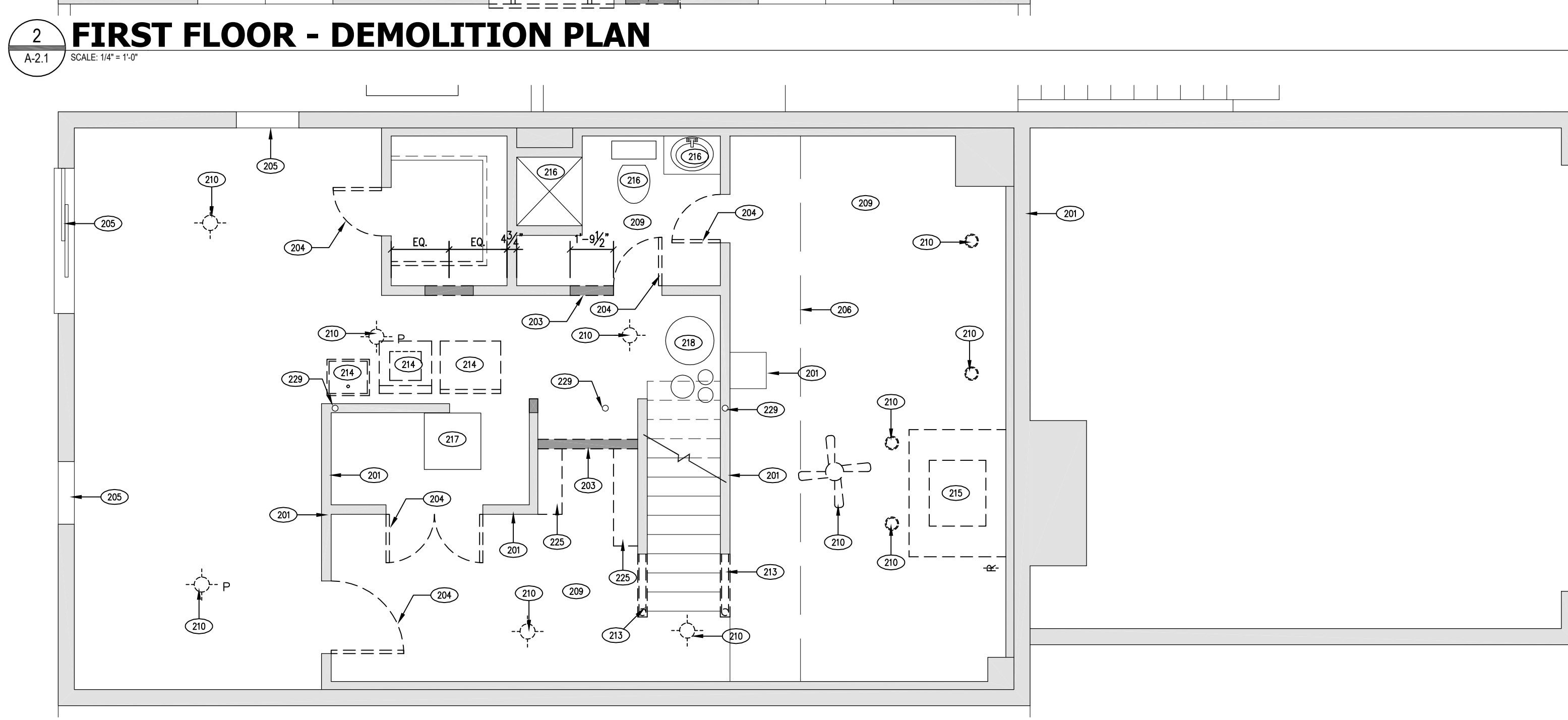
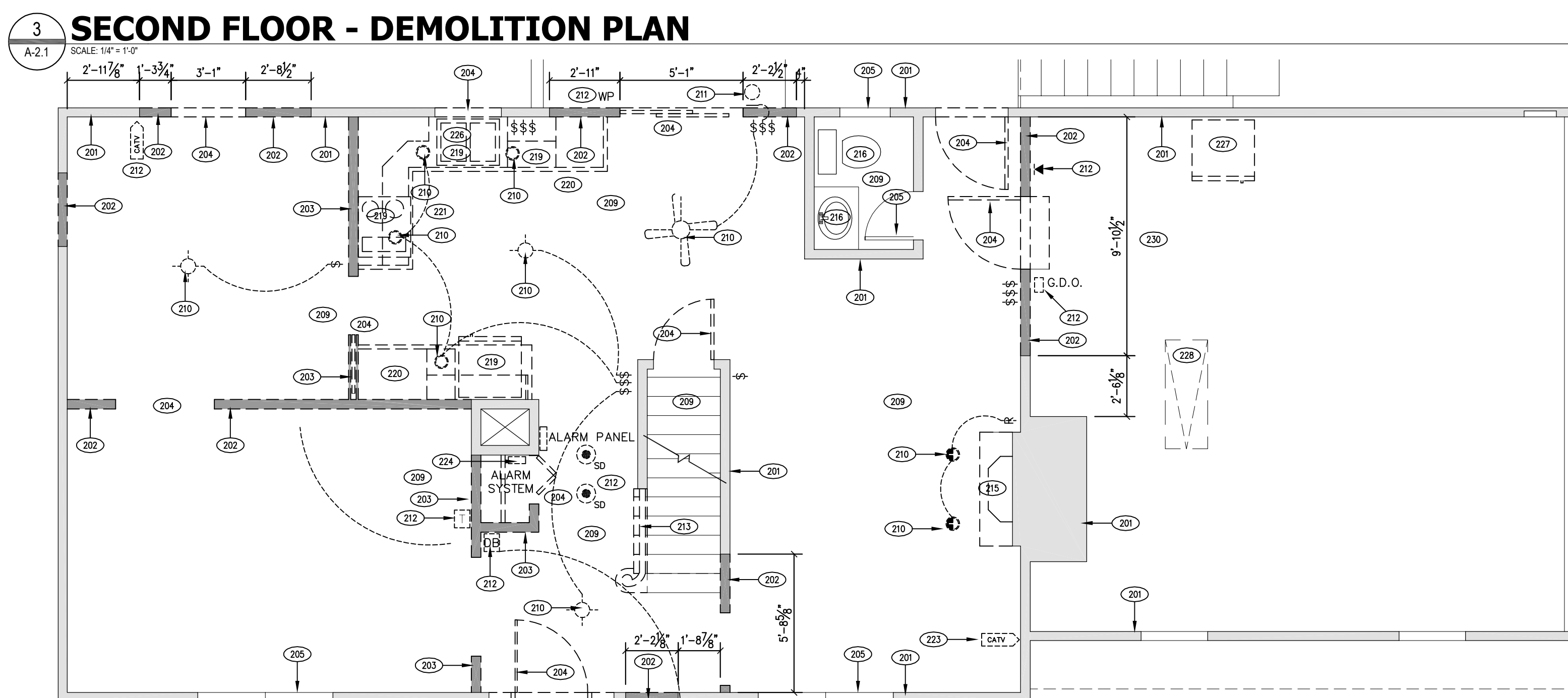
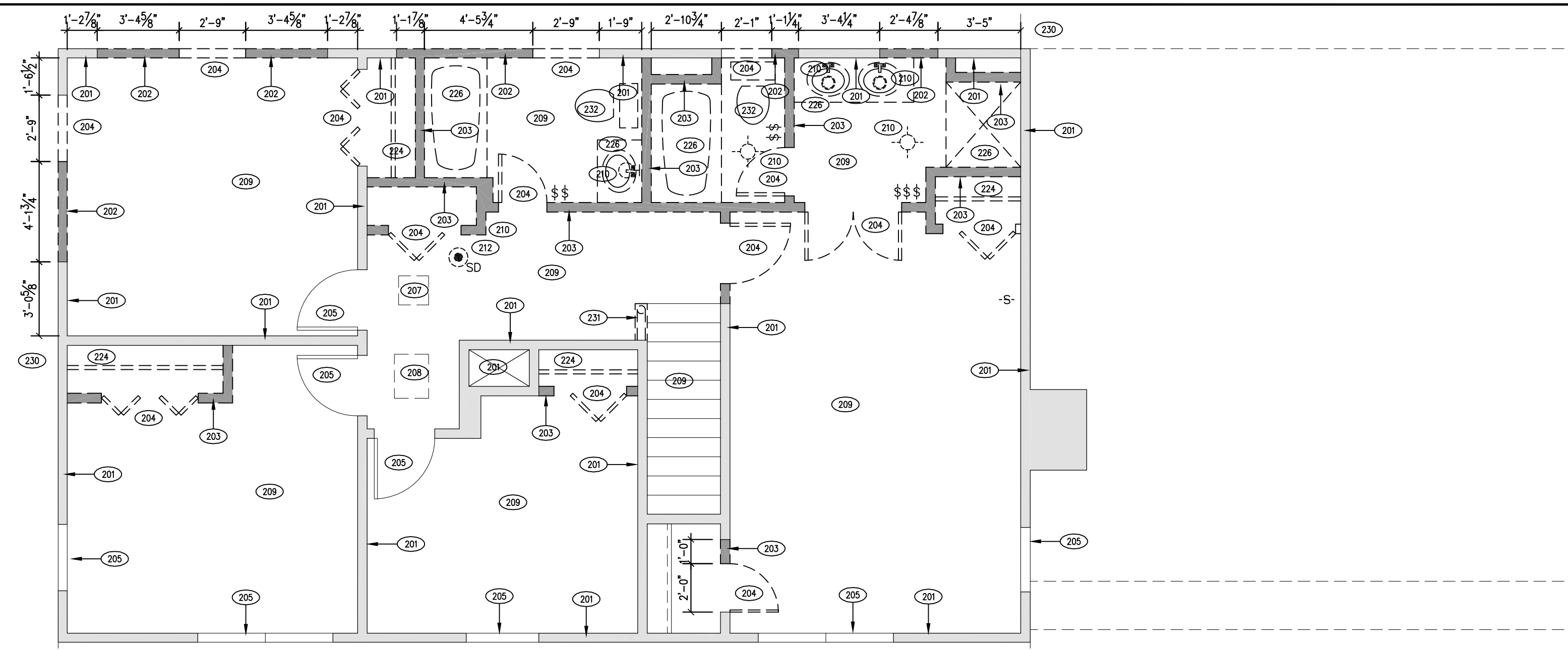
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REVISION DATE	DESCRIPTION







### PLAN KEYNOTES

- EXISTING CONSTRUCTION TO REMAIN.
- CAREFULLY REMOVE SECTION OF EXISTING BEARING WALL, AS INDICATED, PROVIDE TEMP BRACING / SUPPORT AS REQUIRED BY NEW WORK.
- REMOVE SECTION OF EXISTING NON-BEARING WALL AS INDICATED.
- CAREFULLY REMOVE EXISTING DOOR / WINDOW / FRAME. STORE / DISPOSE OF AS DIRECTED BY OWNER.
- EXISTING DOOR / WINDOW UNIT TO REMAIN.
- EXISTING BULKHEAD TO REMAIN.
- EXISTING RETURN AIR GRILLE TO REMAIN.
- EXISTING ATTIC ACCESS TO REMAIN.
- REMOVE EXISTING FLOOR MATERIAL, PREPARE SUBFLOOR TO RECEIVE NEW FLOORING MATERIAL.
- REMOVE EXISTING LIGHTING FIXTURE, STORE / DISPOSE OF AS DIRECTED BY OWNER.
- REMOVE EXISTING LIGHTING FIXTURE, RELOCATE AS INDICATED ON RCP.
- REMOVE EXISTING ELECTRICAL ITEM.
- REMOVE SECTION OF EXISTING STAIR HANDRAIL / GUARDRAIL, STAIR TREAD EDGE. COORDINATE WITH NEW STAIR WORK.
- REMOVE EXISTING WASHER / DRYER / UTILITY SINK, RELOCATE TO NEW SECOND FLOOR LAUNDRY ROOM. REMOVE / CAP ALL UN-USED PLUMBING LINES.
- CAREFULLY REMOVE EXISTING FIREPLACE / STOVE / HEARTH.
- EXISTING PLUMBING FIXTURE TO REMAIN.
- EXISTING HVAC SYSTEM TO REMAIN.
- EXISTING HWH / WATER FILTER / SOFTENER SYSTEMS, TO REMAIN.
- EXISTING APPLIANCE TO BE REMOVED. STORE / DISPOSE OF AS DIRECTED BY OWNER.
- REMOVE EXISTING BASE / WALL CABINET, STORE / DISPOSE OF AS DIRECTED BY OWNER.
- REMOVE EXISTING BULKHEAD ABOVE CABINETS, TYP.
- REMOVE SECTION OF CLOSET SHELF / RODS. RE-USE AS REQUIRED BY NEW WORK.
- REMOVE AND RELOCATE EXISTING CATV OUTLET. SEE DATA PLAN.
- REMAIN EXISTING CLOSET SHELF / ROD.
- REMOVE EXISTING MILLWORK.
- REMOVE EXISTING PLUMBING FIXTURE, STORE / DISPOSE OF AS DIRECTED BY OWNER.
- EXISTING REFRIGERATOR TO BE RELOCATED. SEE NEW WORK PLANS FOR LOCATION.
- EXISTING ATTIC ACCESS TO REMAIN.
- EXISTING STEEL COLUMN, TO REMAIN.
- COORDINATE ALL DEMOLITION WITH NEW WORK PLANS, TYP.
- REMOVE HANDRAIL / GUARDRAIL.
- CAREFULLY REMOVE EXISTING TOILET, RELOCATE AS INDICATED ON PLANS.

### ITEMS TO BE SAVED

- ALL DOOR AND WINDOW UNITS
- SURFACE MOUNTED LIGHTING FIXTURES
- ALL APPLIANCES
- ALL PLUMBING FIXTURES

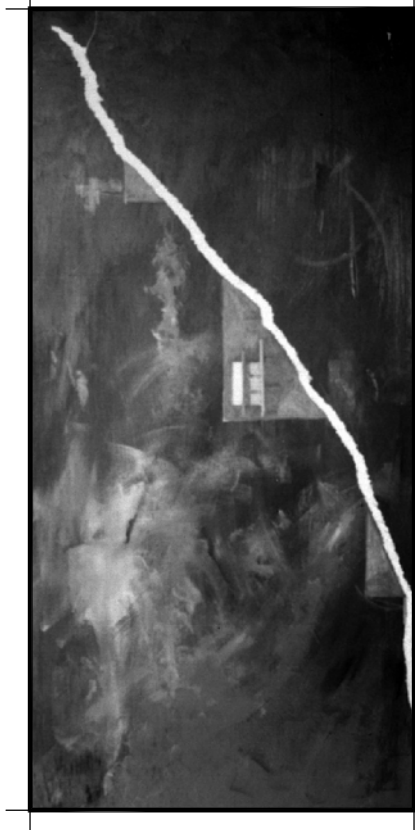
NOTE: RELOCATE, RE-USE, STORE / DISPOSE OF AS DIRECTED BY OWNER / PLANS.

### DEMOLITION NOTES

- ALL ITEMS LISTED TO BE SAVED SHALL BE STORED ON SITE AS DIRECTED BY OWNER. SEE LIST OF ITEMS ON THIS SHEET. CONTRACTOR SHALL CLEAN AND CHECK ALL EXISTING COMPONENTS AND SYSTEMS TO BE REUSE IN THE NEW WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY IN CONDITION. CONTRACTOR SHALL REINSTALL ONLY THOSE ELEMENTS WHICH ARE REASONABLE SUITABLE FOR INCORPORATION INTO THE NEW WORK.
- CONTRACTOR SHALL EXERCISE CARE IN THE REMOVAL AND STORAGE OF ALL MATERIAL TO BE REMOVED AND SAVED FOR REUSE. CONTRACTOR SHALL ALSO USE CARE IN ALL WORK AREAS WHICH INVOLVE PORTIONS OF THE EXISTING CONSTRUCTION TO REMAIN.
- CONTRACTOR SHALL PERFORM SELECTIVE DEMOLITION OF EXISTING MECHANICAL AND ELECTRICAL SYSTEM COMPONENTS. SEE ELECTRICAL AND PLUMBING DRAWINGS FOR EXTENT OF WORK.
- ALL ELECTRICAL WIRING AND PLUMBING WHICH IS ABANDONED SHALL BE REMOVED BACK TO ITS SOURCE IF IT WILL NOT BE INCORPORATED INTO THE NEW WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS OF PROVIDING TEMPORARY BRACING FOR STRUCTURAL MEMBERS AS REQUIRED DURING DEMOLITION. THE DEMOLITION WORK SHALL BE CARRIED OUT IN A MANNER THAT THE EXISTING STRUCTURE SHALL NOT BECOME UNSAFE.
- CONTRACTOR TO KEEP JOB SITE FREE AND CLEAR OF DEBRIS AT ALL TIMES. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE ON A REGULAR BASIS. JOB SITE SHALL BE BROOM SWEEP DAILY.
- CONTRACTOR TO PROVIDE TEMPORARY DUST BARRIERS, RODENT PEST PROTECTION, AND SECURITY MEASURES. CONTRACTOR TO PROTECT EXISTING FINISHES NOT AFFECTED BY DEMOLITION.
- SCOPE OF DEMOLITION SHALL INCLUDE WORK REASONABLY INFERRED BUT NOT SPECIFICALLY SHOWN.
- THE OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF ALL ITEMS AT THIS SITE.

### LEGEND

- EXISTING ITEM(S) TO BE REMOVED
- EXISTING WALL(S) TO BE REMAINED
- EXISTING WALL / CONSTRUCTION TO REMAIN
- EXISTING DOOR TO BE RELOCATED. SEE PLANS FOR LOCATION.



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14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3038, FAX: 703.688.6633, WWW.RICHOSTELEY.COM, RICHOSTELEY@GMAIL.COM

**BASEMENT DEMOLITION PLAN**

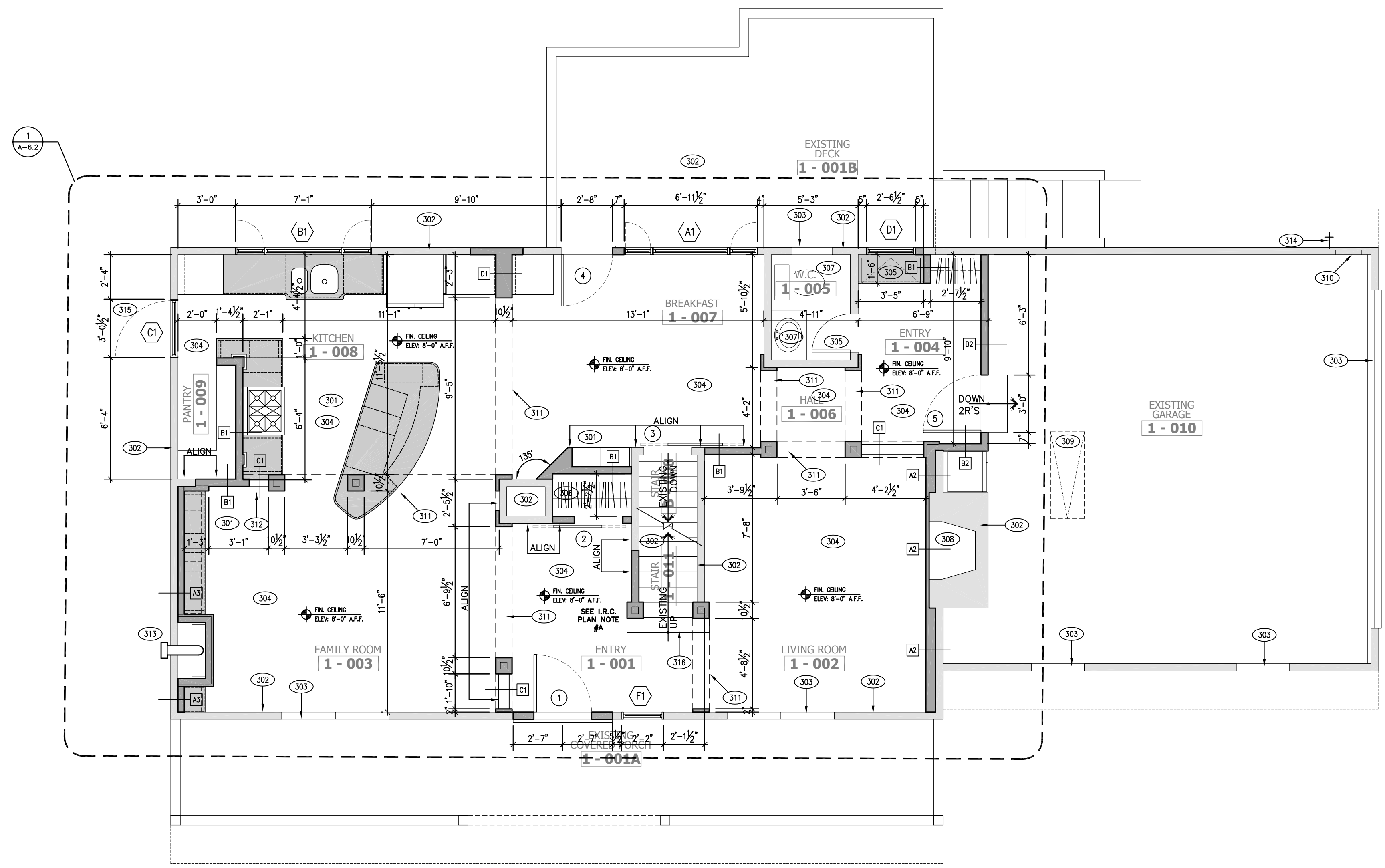
NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

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**1 FIRST FLOOR - NEW WORK PLAN**  
SCALE 3/16" = 1'-0"

**WINDOW SCHEDULE**

NO.	LOCATION (ROOM NO.)	WINDOW SIZE (RO)		NO.	LOCATION (ROOM NO.)	WINDOW SIZE (RO)	
		WIDTH	HEIGHT			WIDTH	HEIGHT
A1	BREAKFAST (1-007)	8'-0 1/2"	4'-11 7/8"				
B1	KITCHEN (1-008)	7'-5 1/4"	2'-11 15/16"				
C1	PANTRY (1-009)	3'-0 1/2"	5'-0 3/8"				
D1	ENTRY (1-004)	2'-6 1/8"	3'-4 7/8"				
F1	ENTRY (1-001)	2'-1 5/8"	5'-4 7/8"				

**DOOR SCHEDULE**

NO.	LOCATION	SIZE			NO.	LOCATION	SIZE		
		WIDTH	HEIGHT	THICK.			WIDTH	HEIGHT	THICK.
1	ENTRY (1-001)	3'-0"	6'-8"	1-3/8"					
2	ENTRY (1-001)	2'-8"	7'-0"	3/4"					
3	BREAKFAST (1-007)	3'-2"	7'-0"	3/4"					
4	BREAKFAST (1-007)	2'-8"	6'-8"	3/4"					
5	ENTRY (1-004)	3'-0"	6'-8"	1-3/8"					

**I.R.C. NOTES**

**PLAN NOTES:**  
A.) PROVIDE HANDRAIL, AS REQUIRED, PER I.R.C. SECTION R311.7  
B.) WINDOW UNIT MEETS MINIMUM OPENING AREA, PER I.R.C. SECTION R310.1.1.  
WINDOW UNIT ALSO MEETS MINIMUM OPENING HEIGHT AND WIDTH, PER I.R.C. SECTIONS R310.1.2 & R310.1.3  
C.) WINDOW / GLAZING IN SHOWER UNIT MUST COMPLY WITH SECTION R308.1 - TEMPERED GLAZING REQUIRED.

**PLAN KEYNOTES**

- 301 SEE MILLWORK PLANS FOR COUNTERTOP / CABINET / MILLWORK DETAILS.
- 302 EXISTING CONSTRUCTION, TO REMAIN.
- 303 EXISTING DOOR / WINDOW, TO REMAIN.
- 304 PATCH, REPAIR EXISTING WALL & CEILING AS REQUIRED BY NEW WORK, TYP.
- 305 BENCH SEAT, SEE DETAIL 1/???
- 306 NEW CLOSET ROD & SHELF, SEE GENERAL PLAN NOTES #9 THIS PAGE.
- 307 EXISTING PLUMBING FIXTURE, TO REMAIN.
- 308 EXISTING FIREPLACE FLUE TO BE CAPPED / ABANDONED. CONTRACTOR TO INVESTIGATE BEST SOLUTION, ADVISE ARCHITECT / OWNER.
- 309 EXISTING ATTIC ACCESS TO REMAIN.
- 310 EXISTING ELECTRICAL PANEL. CONTRACTOR TO V.I.F. PANEL SIZE MEETS NEW ELECTRICAL REQUIREMENTS. PROVIDE / INSTALL NEW SUBPANEL AS REQUIRED BY NEW WORK.
- 311 BULKHEAD ABOVE, SEE DETAIL 1/???
- 312 BULKHEAD ABOVE, SEE DETAIL 1/???
- 313 NEW GAS FIREPLACE, SEE EQUIPMENT SCHEDULE FOR DETAILS. PROVIDE THRU-WALL VENT, PER MANUFACTURER SPECS, TO EXTERIOR.
- 314 NEW HOSE BIB. CONTRACTOR TO PROVIDE ADD / ALT PRICING.
- 315 DOOR / WINDOW SWING, TYP., AS INDICATED ON FLOOR PLANS.
- 316 PROVIDE NEW TREAD @ BOTTOM STAIR RUN. REFER TO MILLWORK PLANS FOR DETAILS.
- 317 PROVIDE NEW SHELF / ROD (TO MATCH EXISTING) AS REQUIRED BY NEW WORK. RE-USE DEMO'D SHELF.
- 318 EXISTING MECH. BULKHEAD ABOVE, TO REMAIN.
- 319 NEW FRAMED IN BULKHEAD ABOVE. SEE DETAIL 1/???
- 320 PROVIDE IN-FILL 2x4 STUD, @ 24", @ REMOVED DOOR LOCATION, W/ 1/2" PTD. GYP. BRD. (ON FINISHED ROOM SIDE).
- 321 EXISTING AC UNIT / PAD, TO REMAIN.
- 322 PROPOSED LOCATION OF NEW NATURAL GAS TANK / PAD. CONTRACTOR TO INVESTIGATE SIZE OF TANK REQUIREMENTS. PROVIDE ADD / ALT PRICING.
- 323 EXISTING HVAC UNIT, TO REMAIN.
- 324 EXISTING HHW / WATER FILTER / SOFTENER SYSTEMS, TO REMAIN.
- 325 RELOCATED WASHER / DRYER / UTILITY SINK.
- 326 EXISTING RETURN AIR GRILLE, TO REMAIN.
- 327 EXISTING ATTIC ACCESS, TO REMAIN.
- 328 PROVIDE OVERFLOW PAN / DRAIN @ WASHER.
- 329 EXISTING ROOF SYSTEM / STRUCTURE BELOW.
- 330 TURN STUD.

**WALL TYPE SCHEDULE**

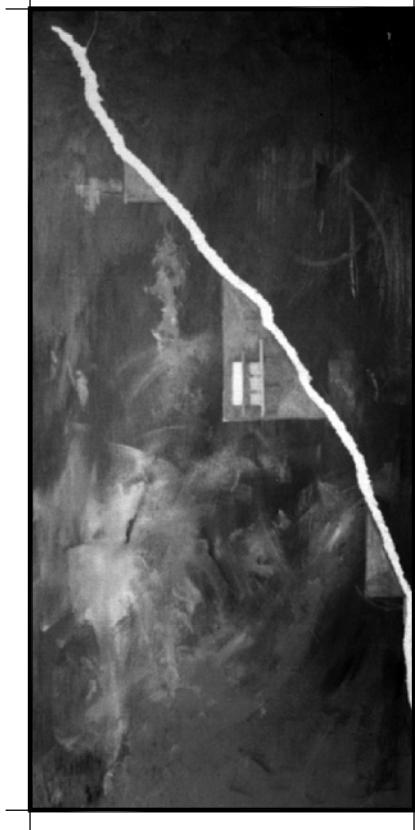
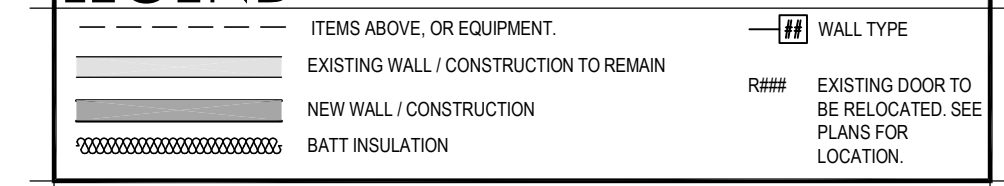
- 2x4 STUD WALL TYPES**
- A1 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, W/ R-19 BATT INSULATION. ATTACH NEW STUDS TO EXISTING CONC. WALL.
  - A2 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTENERS. TURN STUDS AS REQUIRED / INDICATED.
  - A3 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" STAINED GRADE PLYWOOD, FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTENERS.
  - B1 2x4 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE (OR BOTH SIDES, SEE PLANS). PROVIDE 1/2" PTD. GREEN CONC. BRD. @ ALL NET LOCATIONS. PROVIDE SOUND ATTENUATING BATT INSULATION AS INDICATED ON PLANS. TURN STUDS AS REQUIRED FOR FURRING.
  - B2 2x4 STUD WALL @ 16" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, 1/2" PREFERRED (O.D.) GYP. BRD., GARAGE SIDE. PROVIDE R-19 BATT INSULATION.
  - C1 2x4 STUD 48" WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES AND TOP.
  - D1 2x8 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES.
  - F1 42" HIGH STUD / GLASS TO CEILING WALL. STUDS @ 24" O.C., WITH 1/2" GREEN BRD. AND O.T.
  - G1 2x4 STUD @ 24" O.C., WITH 1/2" STAINED GRADE PLYWOOD.
  - H1 2x4 STUD @ 24" O.C., WITH 1/2" PTD. GYP. BRD.

**WALL TYPES NOTE:**  
CONTRACTOR TO COMPLETELY REVIEW ALL FLOOR PLANS, ELEVATIONS, AND BUILDING / WALL SECTIONS, TO UNDERSTAND DESIGN & CONSTRUCTION INTENT OF WALL TYPES.

**GENERAL PLAN NOTES**

1. ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - UNDO.
2. CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT.
3. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHALL / PLAN REVIEWER.
4. DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL, PLACED ON INGED SIDE UNDO.
5. PROVIDE SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH ARCHITECT AND OWNER.
6. ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SILLER EDGE TRIM WHEN ABUTTING TILE WITH DESIRABLE MATERIALS.
7. ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING UNDO.
8. ALL GNB PARTIAL HT. WALLS SHALL HAVE FITTICON W/EE BRACE KIT S90-46 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL.
9. ALL CLOSETS TO HAVE 1-1/2" ALUMN. ROD AT 5'-0" A.F.F. WITH 1/2" WIDE WHITE MELAMINE SHELF W/ FINISHED EDGE, UNDO.
10. SLOPE GRADE 1/4" PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.
11. PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK / JOINT ON EACH SIDE.

**LEGEND**



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

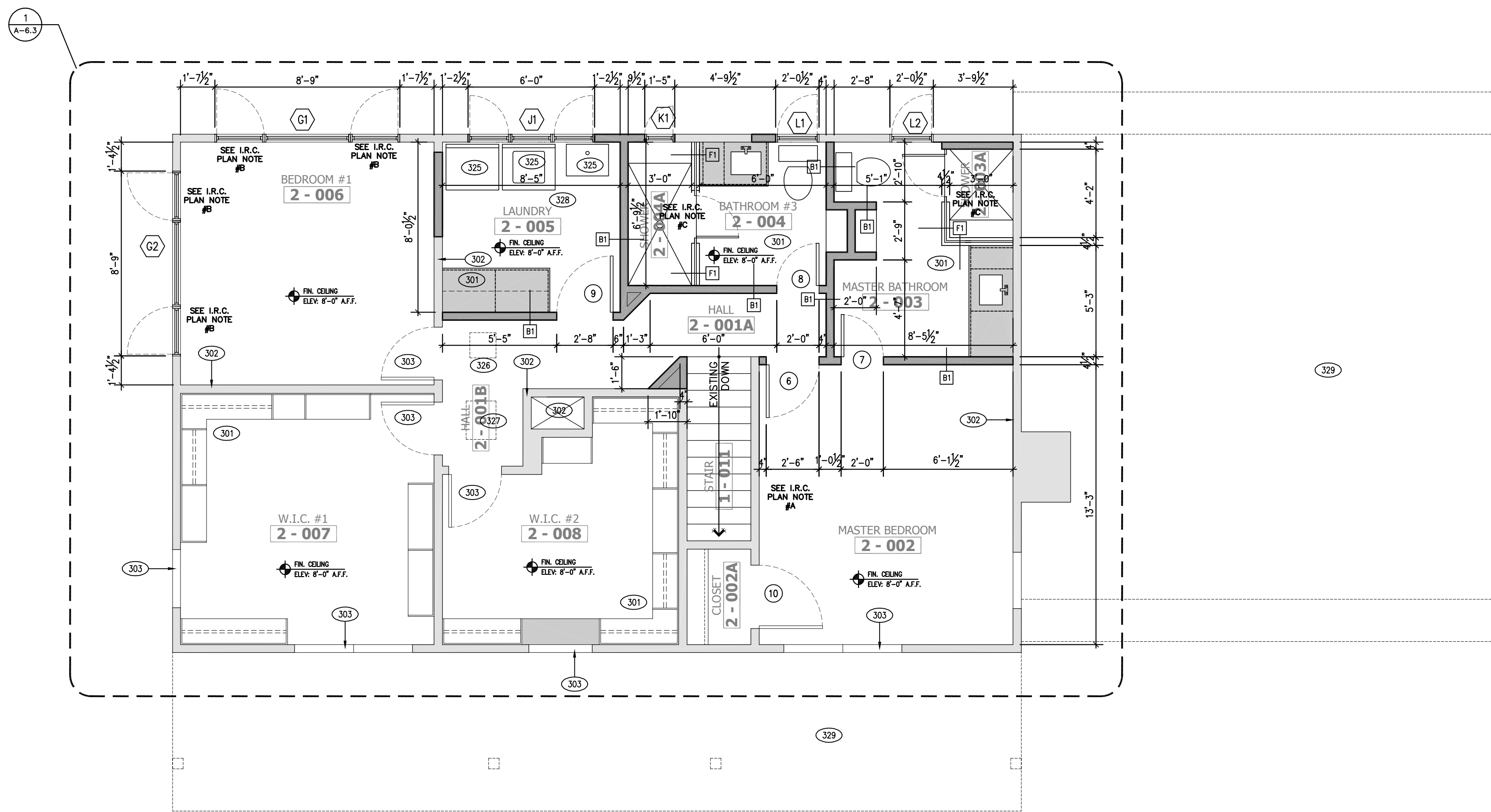
**RICHOSTELLEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3038  
WWW.RICHOSTELLEY.COM

**FIRST FLOOR NEW WORK PLAN**

ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID



**1 SECOND FLOOR - NEW WORK PLAN**  
SCALE 3/16" = 1'-0"

**WINDOW SCHEDULE**

NO.	LOCATION (ROOM NO.)	WINDOW SIZE (RO)		NO.	LOCATION (ROOM NO.)	WINDOW SIZE (RO)	
		WIDTH	HEIGHT			WIDTH	HEIGHT
G1	BEDROOM #1 (2-006)	8'-9"	5'-4 13/16"				
G2	BEDROOM #1 (2-006)	8'-9"	5'-4 13/16"				
J1	LAUNDRY (2-005)	5'-1 1/2"	3'-4 3/8"				
K1	BATH (2-004)	1'-5 1/2"	2'-4 7/8"				
L1	BATH (2-004)	2'-4 7/8"	3'-0 1/2"				
L2	MASTER BATH (2-003)	2'-4 7/8"	3'-0 1/2"				

**DOOR SCHEDULE**

NO.	LOCATION	SIZE			NO.	LOCATION	SIZE		
		WIDTH	HEIGHT	THICK.			WIDTH	HEIGHT	THICK.
6	MASTER BEDROOM (2-002)	2'-6"	6'-8"	1-3/8"					
7	MASTER BEDROOM (2-002)	2'-0"	6'-8"	1-3/8"					
8	HALL (2-001A)	2'-0"	6'-8"	1-3/8"					
9	HALL (2-001A)	2'-8"	6'-8"	1-3/8"					
10	MASTER BEDROOM (2-002)	3'-0"	6'-8"	1-3/8"					

**I.R.C. NOTES**

**PLAN NOTES:**  
 A.) PROVIDE HANDRAIL, AS REQUIRED, PER I.R.C. SECTION R311.7  
 B.) WINDOW UNIT MEETS MINIMUM OPENING AREA, PER I.R.C. SECTION R310.1.1.  
 WINDOW UNIT ALSO MEETS MINIMUM OPENING HEIGHT AND WIDTH, PER I.R.C. SECTIONS R310.1.2 & R310.1.3  
 C.) WINDOW / GLAZING IN SHOWER UNIT MUST COMPLY WITH SECTION R308.1 - TEMPERED GLAZING REQUIRED.

**PLAN KEYNOTES**

- 301 SEE MILLWORK PLANS FOR COUNTERTOP / CABINET / MILLWORK DETAILS.
- 302 EXISTING CONSTRUCTION, TO REMAIN.
- 303 EXISTING DOOR / WINDOW, TO REMAIN.
- 304 PATCH, REPAIR EXISTING WALL & CEILING AS REQUIRED BY NEW WORK, TYP.
- 305 BENCH SEAT, SEE DETAIL 2-001.
- 306 NEW CLOSET ROD & SHELF, SEE GENERAL PLAN NOTES #9 THIS PAGE.
- 307 EXISTING PLUMBING FIXTURE, TO REMAIN.
- 308 EXISTING FIREPLACE FLUE TO BE CAPPED / ABANDONED. CONTRACTOR TO INVESTIGATE BEST SOLUTION, ADVISE ARCHITECT / OWNER.
- 309 EXISTING ATTIC ACCESS TO REMAIN.
- 310 EXISTING ELECTRICAL PANEL. CONTRACTOR TO V.I.F. PANEL SIZE MEETS NEW ELECTRIC REQUIREMENTS. PROVIDE / INSTALL NEW SUBPANEL AS REQUIRED BY NEW WORK.
- 311 BULKHEAD ABOVE, SEE DETAIL 2-001.
- 312 BULKHEAD ABOVE, SEE DETAIL 2-001.
- 313 NEW GAS FIREPLACE, SEE EQUIPMENT SCHEDULE FOR DETAILS. PROVIDE THRU-WALL VENT, PER MANUFACTURER SPECS, TO EXTERIOR.
- 314 NEW HOSE BIB. CONTRACTOR TO PROVIDE ADD / ALT PRICING.
- 315 DOOR / WINDOW SWING, TYP., AS INDICATED ON FLOOR PLANS.
- 316 PROVIDE NEW TREAD @ BOTTOM STAIR RUN. REFER TO MILLWORK PLANS FOR DETAILS.
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- 318 EXISTING MECH. BULKHEAD ABOVE, TO REMAIN.
- 319 NEW FRAMED IN BULKHEAD ABOVE. SEE DETAIL 2-001.
- 320 PROVIDE IN-FILL 2x4 STUD, @ 24", @ REMOVED DOOR LOCATION, W/ 1/2" PTD. GYP. BRD. (ON FINISHED ROOM SIDE).
- 321 EXISTING AC UNIT / PAD, TO REMAIN.
- 322 PROPOSED LOCATION OF NEW NATURAL GAS TANK / PAD. CONTRACTOR TO INVESTIGATE SIZE OF TANK REQUIREMENTS. PROVIDE ADD / ALT PRICING.
- 323 EXISTING HVAC UNIT, TO REMAIN.
- 324 EXISTING HHW / WATER FILTER / SOFTENER SYSTEMS, TO REMAIN.
- 325 RELOCATED WASHER / DRYER / UTILITY SINK.
- 326 EXISTING RETURN AIR GRILLE, TO REMAIN.
- 327 EXISTING ATTIC ACCESS, TO REMAIN.
- 328 PROVIDE OVERFLOW PAN / DRAIN @ WASHER.
- 329 EXISTING ROOF SYSTEM / STRUCTURE BELOW.
- 330 TURN STUD.

**WALL TYPE SCHEDULE**

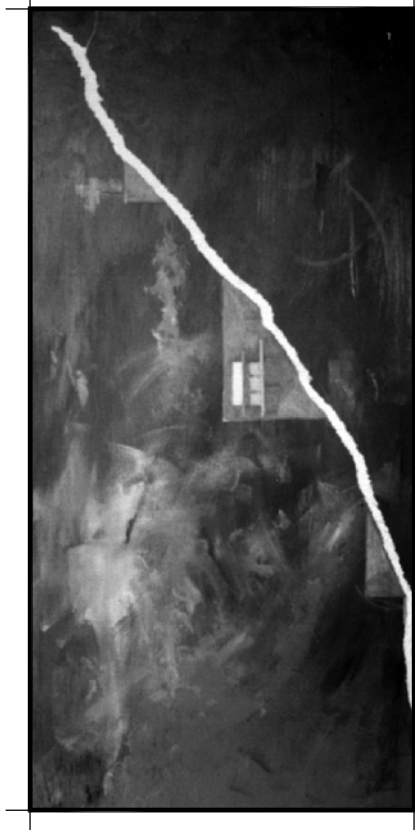
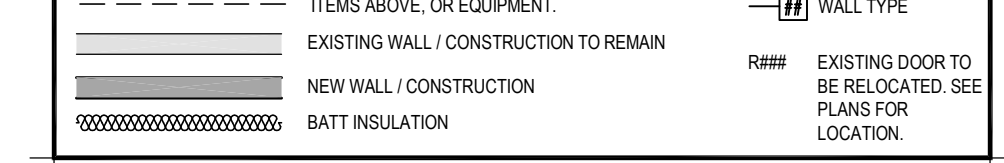
- 2x4 STUD WALL TYPES**
- A1 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, W/ R-19 BATT INSULATION. ATTACH NEW STUDS TO EXISTING CONC. WALL.
  - A2 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTENERS. TURN STUDS AS REQUIRED / INDICATED.
  - A3 2x4 STUD FURRING WALL @ 24" O.C., WITH 1/2" STAINED GRADE PLYWOOD, FINISHED ROOM SIDE. ATTACH NEW STUDS TO EXISTING WALL WITH METAL FASTENERS.
  - B1 2x4 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE (OR BOTH SIDES, SEE PLANS). PROVIDE 1/2" PTD. GREEN (CONC. BRD.) @ ALL NET LOCATIONS. PROVIDE SOUND ATTENUATING BATT INSULATION AS INDICATED ON PLANS. TURN STUDS AS REQUIRED FOR FURRING.
  - B2 2x4 STUD WALL @ 16" O.C., WITH 1/2" PTD. GYP. BRD. FINISHED ROOM SIDE, 1/2" PREFERRED (CONC. BRD., GARAGE SIDE. PROVIDE R-19 BATT INSULATION.
  - C1 2x4 STUD 48" WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES AND TOP.
  - D1 2x8 STUD WALL @ 24" O.C., WITH 1/2" PTD. GYP. BRD. ALL SIDES.
  - F1 42" HIGH STUD / GLASS TO CEILING WALL. STUDS @ 24" O.C., WITH 1/2" GREEN BRD. AND G.T.
  - G1 2x4 STUD @ 24" O.C., WITH 1/2" STAINED GRADE PLYWOOD.
  - H1 2x4 STUD @ 24" O.C., WITH 1/2" PTD. GYP. BRD.

**WALL TYPES NOTE:**  
 CONTRACTOR TO COMPLETELY REVIEW ALL FLOOR PLANS, ELEVATIONS, AND BUILDING / WALL SECTIONS, TO UNDERSTAND DESIGN & CONSTRUCTION INTENT OF WALL TYPES.

**GENERAL PLAN NOTES**

- 1. ALL DIMENSIONS ARE TO FINISHED WALL UNLESS NOTED OTHERWISE - UNDO.
- 2. CONTRACTOR TO PROVIDE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS ABUT.
- 3. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. VERIFY LOCATION IN FIELD WITH OWNER AND / OR FIRE MARSHALL / PLAN REVIEWER.
- 4. DOOR SHALL BE LOCATED 4" FROM PERPENDICULAR WALL, PLACED ON INBEGD SIDE UNDO.
- 5. PROVIDE SOLID WOOD BLOCKING IN WALLS FOR CABINETS, TOILET ROOM ACCESSORIES, HANDRAILS, EQUIPMENT, ETC. COORDINATE WITH ARCHITECT AND OWNER.
- 6. ALL FLOOR MATERIALS CHANGES BETWEEN ROOMS SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION. PROVIDE SCAFFLER EDGE TO MATCH ABUTTING TILE WITH DESIRABLE MATERIALS.
- 7. ALL FLOOR ELEVATIONS ARE MEASURE TO TOP OF FLOOR SLAB / SHEATHING UNDO.
- 8. ALL GWB PARTIAL HT. WALLS SHALL HAVE FITTICON KNEE BRACE KIT SK046 OR EQUAL AT 5'-0" O.C. EXCEPT AT LOCATIONS WITHIN 4'-0" OF A CORNER OR ABUTTING WALL.
- 9. ALL CLOSETS TO HAVE 1-1/2" ALUMN. ROD AT 5'-0" A.F.F. WITH 1/2" WIDE WHITE MELAMINE SHELF W/ FINISHED EDGE UNDO.
- 10. SLOPE GRADE 2" PER FT. MIN. FOR 4'-0" MIN. FROM PERIMETER OF EXTERIOR NEW WORK.
- 11. PROVIDE CRACK ISOLATION SHEET BENEATH FLOOR TILE AT ALL CRACKS AND CONTROL JOINTS IN EXISTING / NEW CONCRETE SLABS. SHEET TO EXTEND MIN. ONE FULL TILE BEYOND CRACK JOINT ON EACH SIDE.

**LEGEND**



**BOWMAN-JACKSON RESIDENCE**  
 14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
 COUNTY OF PRINCE WILLIAM, VIRGINIA

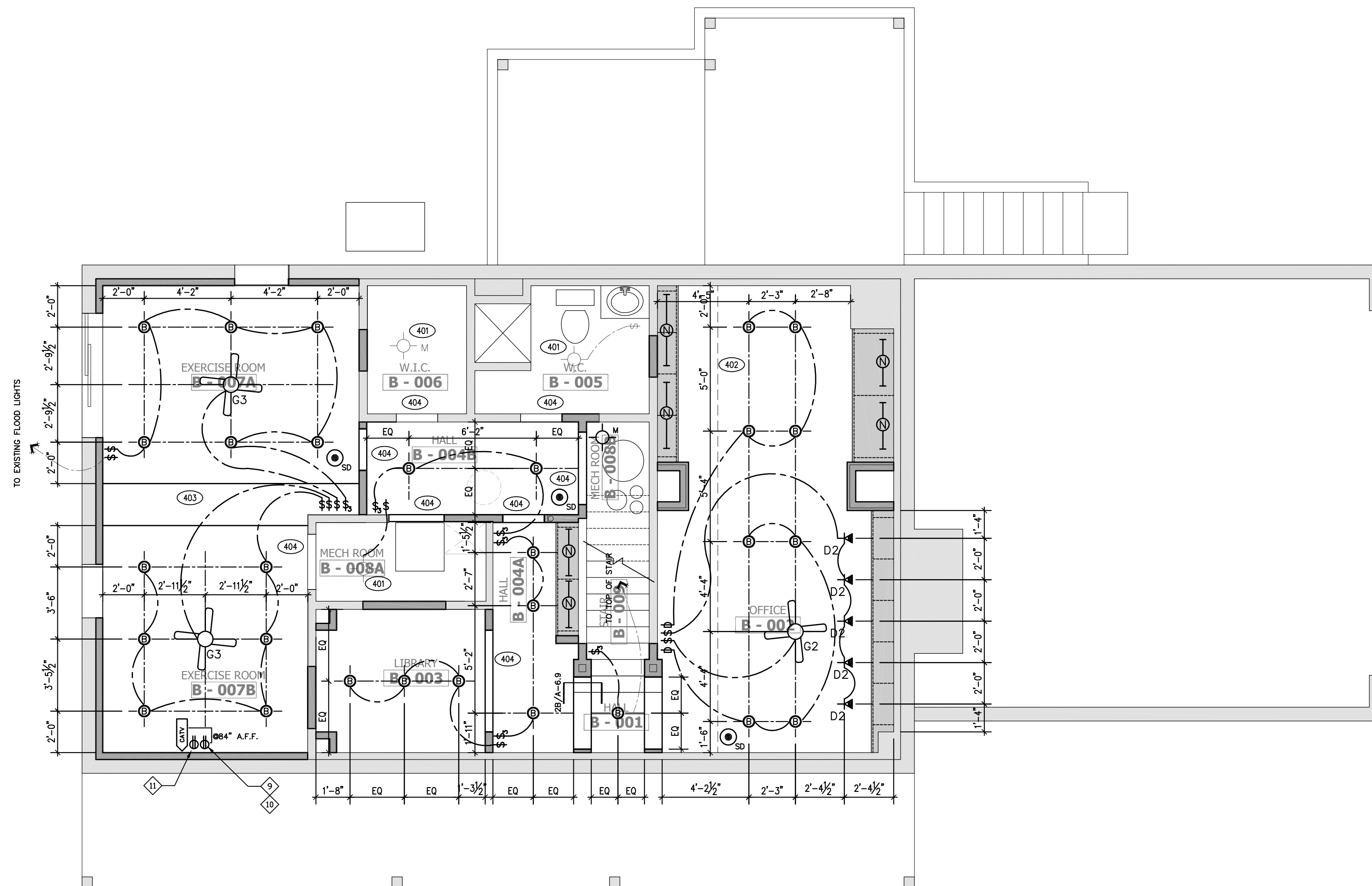
**RICHOSTELLEY**  
 1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3033 WWW.RICHOSTELLEY.COM

**SECOND FLOOR NEW WORK PLAN**

ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID



**1 BASEMENT - SCHEMATIC REFLECTIVE CEILING PLAN**  
SCALE: 1/4" = 1'-0"

ELECTRICAL FIXTURE SCHEDULE						
NO.	TYPE	MANUF.	STYLE	MANUF. ID	COLOR	BULB
A1	SURFACE WALL MOUNTED FIXTURE					
A2	SURFACE WALL MOUNTED FIXTURE					
B	RECESSED DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN
C	EXHAUST FAN	NUTONE	LYTCASTER		WHITE	
D1	SURFACE MOUNTED PENDENT					
D2	SURFACE MOUNTED PENDENT					
F	6-3/4" (SHOWER) WATERPROOF DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN
G1	CEILING FAN					
G2	CEILING FAN					
G3	CEILING FAN					
H1	CEILING SURFACE MOUNTED FIXTURE					
H2	CEILING SURFACE MOUNTED FIXTURE					
H3	CEILING SURFACE MOUNTED FIXTURE					
H4	CEILING SURFACE MOUNTED FIXTURE					
M	EXPOSED PORCELAIN BULB	ANY	ANY			
N	UNDER CABINET MOUNTED LIGHTING	ANY	ANY			
SWITCHES: SINGLE POLE & 3-WAY SWITCHES: DIMMERS RECEPTACLES						
		LEVITON OR EQUAL	DECORA		WHITE	WHITE PLASTIC COVER PLATE
		LEVITON OR EQUAL	DECORA		WHITE	WHITE PLASTIC COVER PLATE
		LEVITON OR EQUAL	DECORA		WHITE	WHITE PLASTIC COVER PLATE

ELECTRICAL LEGEND		
SYM.	DESCRIPTION	SYM.
⌚	SINGLE POLE SWITCH	⌚
⌚	3 WAY POLE SWITCH	⌚
⌚	DIMMER SWITCH	⌚
⌚	3 WAY DIMMER SWITCH	⌚
⌚	RHEOSTAT	⌚
⌚	SINGLE OUTLET RECESSED MOUNTED AT 60° A.F.F.	⌚
⌚	JUNCTION BOX	⌚
⌚	CABLE T.V. OUTLET	⌚
⌚	TEL/DATA OUTLET	⌚
⌚	CEILING, SURFACE MOUNTED LIGHT FIXTURE	⌚
⌚	RECESSED LIGHT FIXTURE	⌚
⌚	RECESSED WALL WASHER (ACCENT LIGHT)	⌚
⌚	WALL MOUNTED LIGHT FIXTURE	⌚
⌚	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET	⌚
⌚	SMOKE DETECTOR- INTERCONNECTED	⌚
⌚	SPEAKER, BY OWNER	⌚
⌚	RHEOSTAT, BY OWNER	⌚
⌚	EXHAUST FAN / LIGHT COMBO	⌚
⌚	EXTERIOR FLOODLIGHT WITH MOTION DETECTOR	⌚
⌚	CEILING MOUNTED PADDLE FAN- PROVIDE FAN SUPPORT BOX	⌚

EQUIPMENT			
NO.	ITEM	NO.	ITEM
1	T.V.	23	DISPOSAL
2	T.V. WALL MOUNT	24	WASHER
3	PRINTER	25	DRYER
4	COPIER	26	HAIRDRYER
5	EXISTING FURN		
6	EXISTING H.W.H.		
7	EX'G WATER FILTER		
8	CABLE T.V. RECEIVER		
9	T.V.		
10	T.V. WALL MOUNT		
11	CABLE T.V. RECEIVER		
12	GAS FIREPLACE		
13	T.V.		
14	T.V. WALL MOUNT		
15	CABLE T.V. RECEIVER		
16	DOOR BUZZER		
17	MICROWAVE		
18	COOKTOP / OVEN		
19	DISHWASHER		
20	REFRIGERATOR		
21	REFRIGERATOR		
22	RANGE HOOD		

**PLAN KEYNOTES**

- 401 EXISTING FIXTURE, TO REMAIN. PROVIDE NEW SWITCHING AS INDICATED.
- 402 EXISTING MECH DUCT, TO REMAIN.
- 403 NEW FRAMED-IN EXISTING MECH / STEEL BEAM BULKHEAD.
- 404 PROVIDE NEW DOOR BULKHEAD.
- 405 RELOCATED SURFACE MOUNTED FIXTURE.
- 406 EXISTING CEILING FAN, TO REMAIN.
- 407 RELOCATED DOORBELL.

**GENERAL PLAN NOTES**

- 1) SCHEMATIC ELECTRICAL PLANS, NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.
- 2) OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 52" A.F.F. U.N.O.
- 3) SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.
- 4) CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.
- 5) ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
- 6) THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR DESIGNER PRIOR TO WIRING.
- 7) THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.
- 8) ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.
- 9) WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
- 10) THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL INSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS CONTRACT.
- 11) THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.
- 12) IN GENERAL, NOT MORE THAN (10) LIGHTING AND/OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.
- 13) CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR); GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.
- 14) LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10 % VARIATION.
- 15) FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.
- 16) FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 17) ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
- 18) FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PLESTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTABLES.
- 19) FURNISH AND INSTALL A 3-INCH DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLESTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 18 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION, TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTABLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS.
- 20) CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.
- 21) THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.
- 22) UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY. LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.
- 23) CONTRACTOR TO VERIFY EXG. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3033 WWW.RICHARCHITECT.COM RICHARCHITECT.COM

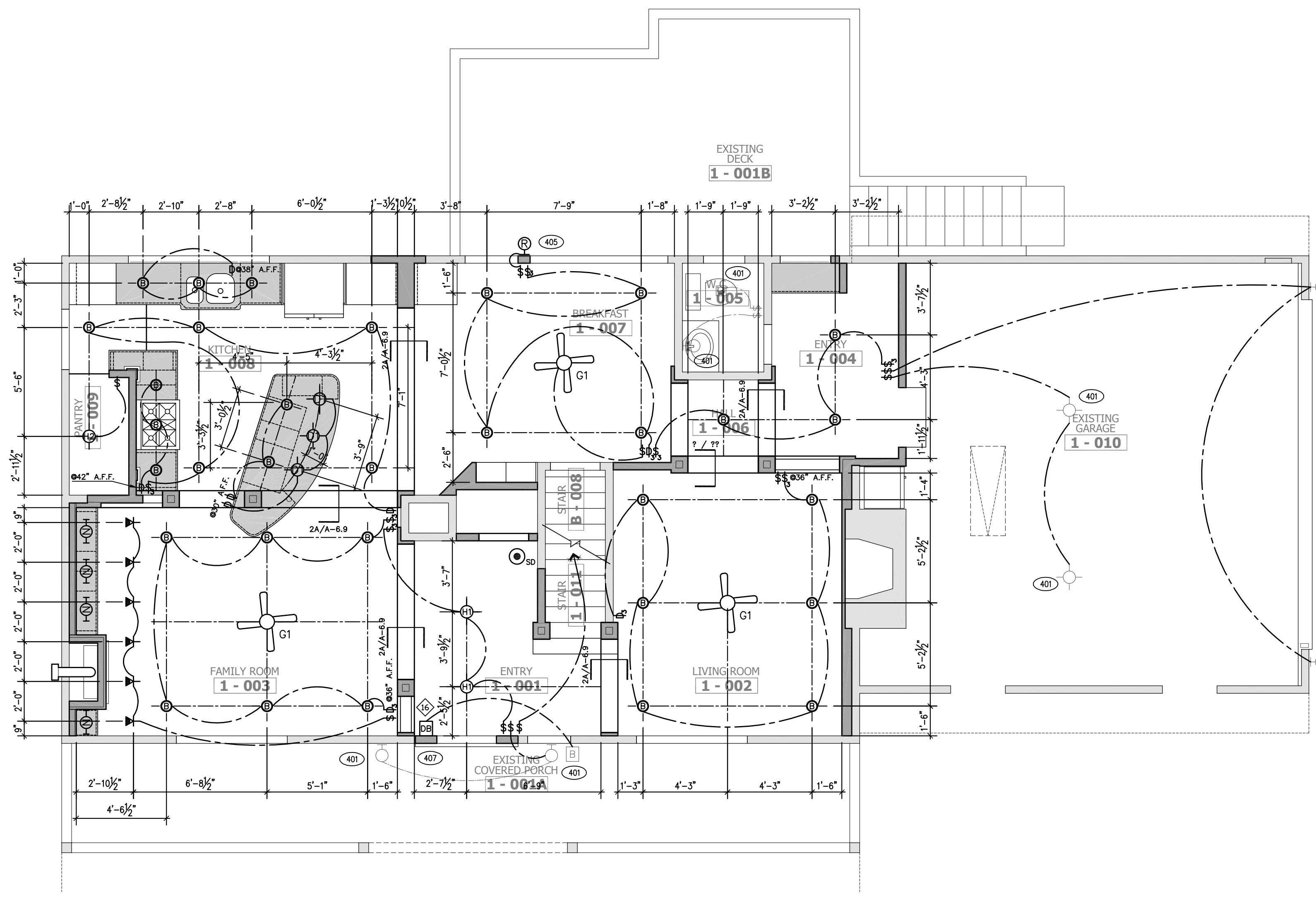
**BASEMENT REFLECTIVE CEILING PLAN**

ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID

**A - 4.1**



**1 FIRST FLOOR - SCHEMATIC REFLECTIVE CEILING PLAN**  
SCALE: 1/4" = 1'-0"

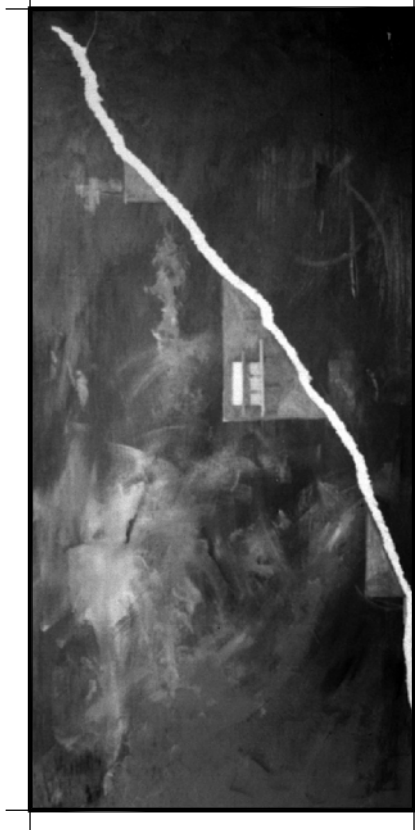
ELECTRICAL FIXTURE SCHEDULE						
NO.	TYPE	MANUF.	STYLE	MANUF. ID	COLOR	BULB
A1	SURFACE WALL MOUNTED FIXTURE					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
A2	SURFACE WALL MOUNTED FIXTURE					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
B	RECESSED DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN
C	EXHAUST FAN	NUTONE	LYTCASTER		WHITE	
D1	SURFACE MOUNTED PENDENT					PROVIDE VS-64 SOLID STATE CONTROL SWITCH TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
D2	SURFACE MOUNTED PENDENT					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
F	6-3/4" (SHOWER) WATERPROOF DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN
G1	CEILING FAN					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
G2	CEILING FAN					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
G3	CEILING FAN					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H1	CEILING SURFACE MOUNTED FIXTURE					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H2	CEILING SURFACE MOUNTED FIXTURE					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H3	CEILING SURFACE MOUNTED FIXTURE					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H4	CEILING SURFACE MOUNTED FIXTURE					TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
M	EXPOSED PORCELAIN BULB	ANY	ANY			WITH PULL STRING
N	UNDER CABINET MOUNTED LIGHTING	ANY	ANY			FLORESCENT
SWITCHES: SINGLE POLE & 3-WAY		LEVITON OR EQUAL	DECORA		WHITE	WHITE PLASTIC COVER PLATE
SWITCHES: DIMMERS		LEVITON OR EQUAL	DECORA		WHITE	WHITE PLASTIC COVER PLATE
RECEPTACLES		LEVITON OR EQUAL	DECORA		WHITE	WHITE PLASTIC COVER PLATE

ELECTRICAL LEGEND	
SYM.	DESCRIPTION
⌚	SINGLE POLE SWITCH
⌚⌚⌚	3 WAY POLE SWITCH
D	DIMMER SWITCH
⌚⌚	3 WAY DIMMER SWITCH
⌚	RHEOSTAT
⌚ R+60°	SINGLE OUTLET RECESSED MOUNTED AT 60° A.F.F.
⌚	JUNCTION BOX
⌚ CATV	CABLE T.V. OUTLET
⌚	TEL/DATA OUTLET
⌚	CEILING, SURFACE MOUNTED LIGHT FIXTURE
⌚	RECESSED LIGHT FIXTURE
⌚	RECESSED WALL WASHER (ACCENT LIGHT)
⌚	WALL MOUNTED LIGHT FIXTURE
⌚	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET
⌚	SMOKE DETECTOR- INTERCONNECTED
⌚	SPEAKER, BY OWNER
⌚	RHEOSTAT, BY OWNER
⌚	EXHAUST FAN / LIGHT COMBO
⌚	EXTERIOR FLOODLIGHT WITH MOTION DETECTOR
⌚	CEILING MOUNTED PADDLE FAN- PROVIDE FAN SUPPORT BOX

EQUIPMENT	
NO.	ITEM
1	T.V.
2	T.V. WALL MOUNT
3	PRINTER
4	COPIER
5	EXISTING FURN
6	EXISTING H.W.H.
7	EX'G WATER FILTER
8	CABLE T.V. RECEIVER
9	T.V.
10	T.V. WALL MOUNT
11	CABLE T.V. RECEIVER
12	GAS FIREPLACE
13	T.V.
14	T.V. WALL MOUNT
15	CABLE T.V. RECEIVER
16	DOOR BUZZER
17	MICROWAVE
18	COOKTOP / OVEN
19	DISHWASHER
20	REFRIGERATOR
21	REFRIGERATOR
22	RANGE HOOD

PLAN KEYNOTES	
401	EXISTING FIXTURE, TO REMAIN. PROVIDE NEW SWITCHING AS INDICATED.
402	EXISTING MECH DUCT, TO REMAIN.
403	NEW FRAMED-IN EXISTING MECH / STEEL BEAM BULKHEAD.
404	PROVIDE NEW DOOR BULKHEAD.
405	RELOCATED SURFACE MOUNTED FIXTURE.
406	EXISTING CEILING FAN, TO REMAIN.
407	RELOCATED DOORBELL.

- ### GENERAL PLAN NOTES
- SCHEMATIC ELECTRIC PLANS, NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.
  - OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 52" A.F.F. U.N.O.
  - SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.
  - CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.
  - ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
  - THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR DESIGNER PRIOR TO WIRING.
  - THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.
  - ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.
  - WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
  - THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL INSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS CONTRACT.
  - THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.
  - IN GENERAL, NOT MORE THAN (10) LIGHTING AND/OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.
  - CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR); GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.
  - LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10% VARIATION.
  - FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.
  - FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.
  - ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
  - FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PLASTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTACLES.
  - FURNISH AND INSTALL A 3-INCH DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLASTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 18 AWG COPPER, TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION, TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS.
  - CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.
  - THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.
  - UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY. LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.
  - CONTRACTOR TO VERIFY EXG. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304 - 703.688.6633 - WWW.RICHOSTELLEY.COM

**FIRST FLOOR REFLECTIVE CEILING PLAN**

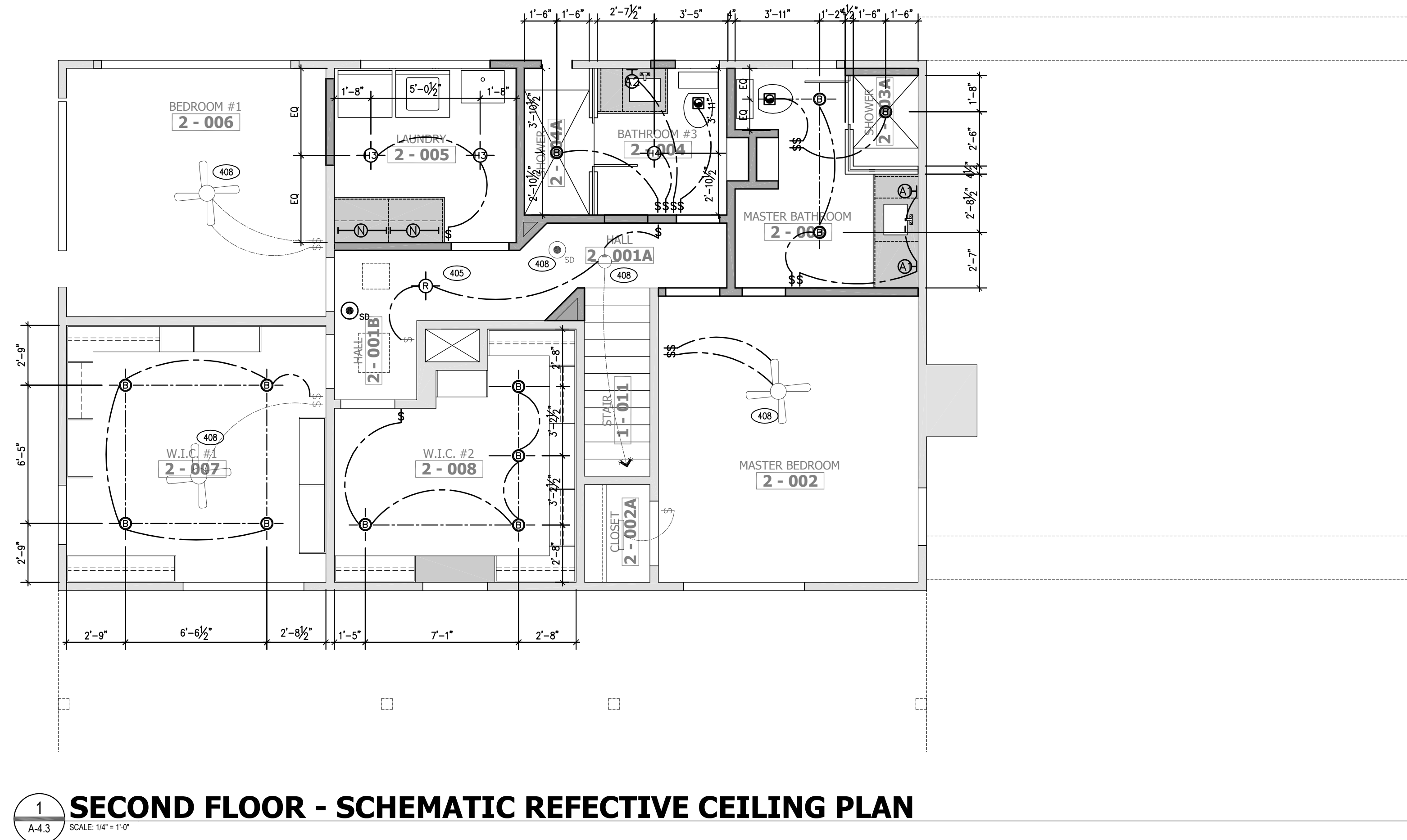
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ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID

**A - 4.2**



**1 SECOND FLOOR - SCHEMATIC REFLECTIVE CEILING PLAN**  
SCALE: 1/4" = 1'-0"

**ELECTRICAL FIXTURE SCHEDULE**

NO.	TYPE	MANUF.	STYLE	MANUF. ID	COLOR	BULB	NOTES
A1	SURFACE WALL MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
A2	SURFACE WALL MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
B	RECESSED DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN	
C	EXHAUST FAN	NUTONE	LYTCASTER		WHITE		PROVIDE VS-64 SOLID STATE CONTROL SWITCH TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
D1	SURFACE MOUNTED PENDENT						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
D2	SURFACE MOUNTED PENDENT						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
F	6-3/4" (SHOWER) WATERPROOF DOWNLIGHT	LIGHTOLIER	LYTCASTER	1176 WH	WHITE	75W PAR 30 HALOGEN	
G1	CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
G2	CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
G3	CEILING FAN						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H1	CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H2	CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H3	CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
H4	CEILING SURFACE MOUNTED FIXTURE						TO BE PROVIDED BY OWNER, INSTALLED BY G.C.
M	EXPOSED PORCELAIN BULB	ANY	ANY				WITH PULL STRING
N	UNDER CABINET MOUNTED LIGHTING	ANY	ANY				FLORESCENT
	SWITCHES: SINGLE POLE & 3-WAY	LEVITON OR EQUAL	DECORA		WHITE		WHITE PLASTIC COVER PLATE
	SWITCHES: DIMMERS	LEVITON OR EQUAL	DECORA		WHITE		PADDLE TYPE WITH SLIDE WHITE PLASTIC COVER PLATE
	RECEPTACLES	LEVITON OR EQUAL	DECORA		WHITE		WHITE PLASTIC COVER PLATE

**ELECTRICAL LEGEND**

SYM.	DESCRIPTION	SYM.	DESCRIPTION
⚡	SINGLE POLE SWITCH	⚡	ROPE LIGHTING
⚡	3 WAY POLE SWITCH	E	EXISTING ITEM TO REMAIN
D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED
⚡	3 WAY DIMMER SWITCH	⚡	SURFACE MOUNTED PULL STRING FIXTURE
⚡	RHEOSTAT	⚡	EXISTING SURFACE MOUNTED PULL STRING FIXTURE
⚡	SINGLE OUTLET RECESSED MOUNTED AT 60° A.F.F.	---	EXISTING ELEC RUN, TO REMAIN
Ⓜ	JUNCTION BOX		
Ⓜ	CABLE T.V. OUTLET		
Ⓜ	TEL/DATA OUTLET		
Ⓜ	CEILING, SURFACE MOUNTED LIGHT FIXTURE		
Ⓜ	RECESSED LIGHT FIXTURE		
Ⓜ	RECESSED WALL WASHER (ACCENT LIGHT)		
Ⓜ	WALL MOUNTED LIGHT FIXTURE		
Ⓜ	UNDER CABINET LIGHT, COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET		
Ⓜ	SMOKE DETECTOR- INTERCONNECTED		
Ⓜ	SPEAKER, BY OWNER		
Ⓜ	RHEOSTAT, BY OWNER		
Ⓜ	EXHAUST FAN / LIGHT COMBO		
Ⓜ	EXTERIOR FLOODLIGHT WITH MOTION DETECTOR		
Ⓜ	CEILING MOUNTED PADDLE FAN- PROVIDE FAN SUPPORT BOX		

**EQUIPMENT**

NO.	ITEM	NO.	ITEM
1	T.V.	23	RANGE HOOD
2	T.V. WALL MOUNT	22	DISPOSAL
3	PRINTER	24	WASHER
4	COPIER	25	DRYER
5	EXISTING FURN	26	HAIRDRYER
6	EXISTING H.W.H.		
7	EX'G WATER FILTER		
8	CABLE T.V. RECEIVER		
9	T.V.		
10	T.V. WALL MOUNT		
11	CABLE T.V. RECEIVER		
12	GAS FIREPLACE		
13	T.V.		
14	T.V. WALL MOUNT		
15	CABLE T.V. RECEIVER		
16	DOOR BUZZER		
17	MICROWAVE		
18	COOKTOP / OVEN		
19	DISHWASHER		
20	REFRIGERATOR		
21	REFRIGERATOR		
22	RANGE HOOD		

**PLAN KEYNOTES**

- EXISTING FIXTURE, TO REMAIN. PROVIDE NEW SWITCHING AS INDICATED.
- EXISTING MECH DUCT, TO REMAIN.
- NEW FRAMED-IN EXISTING MECH / STEEL BEAM BULKHEAD.
- PROVIDE NEW DOOR BULKHEAD.
- RELOCATED SURFACE MOUNTED FIXTURE.
- EXISTING CEILING FAN, TO REMAIN.
- RELOCATED DOORBELL.

**GENERAL PLAN NOTES**

- SCHEMATIC ELECTRICAL PLANS, NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.
- OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 18" A.F.F. U.N.O.
- SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.
- CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.
- ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR DESIGNER PRIOR TO WIRING.
- THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.
- ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.
- WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
- THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL INSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS CONTRACT.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.
- IN GENERAL, NOT MORE THAN (10) LIGHTING AND/OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.
- CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR); GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.
- LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10% VARIATION.
- FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.
- FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.
- ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
- FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PLESTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTACLES.
- FURNISH AND INSTALL A 3-INCH-DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLESTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 16 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION, TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS.
- CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.
- THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.
- UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY. LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.
- CONTRACTOR TO VERIFY EXG. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLE**  
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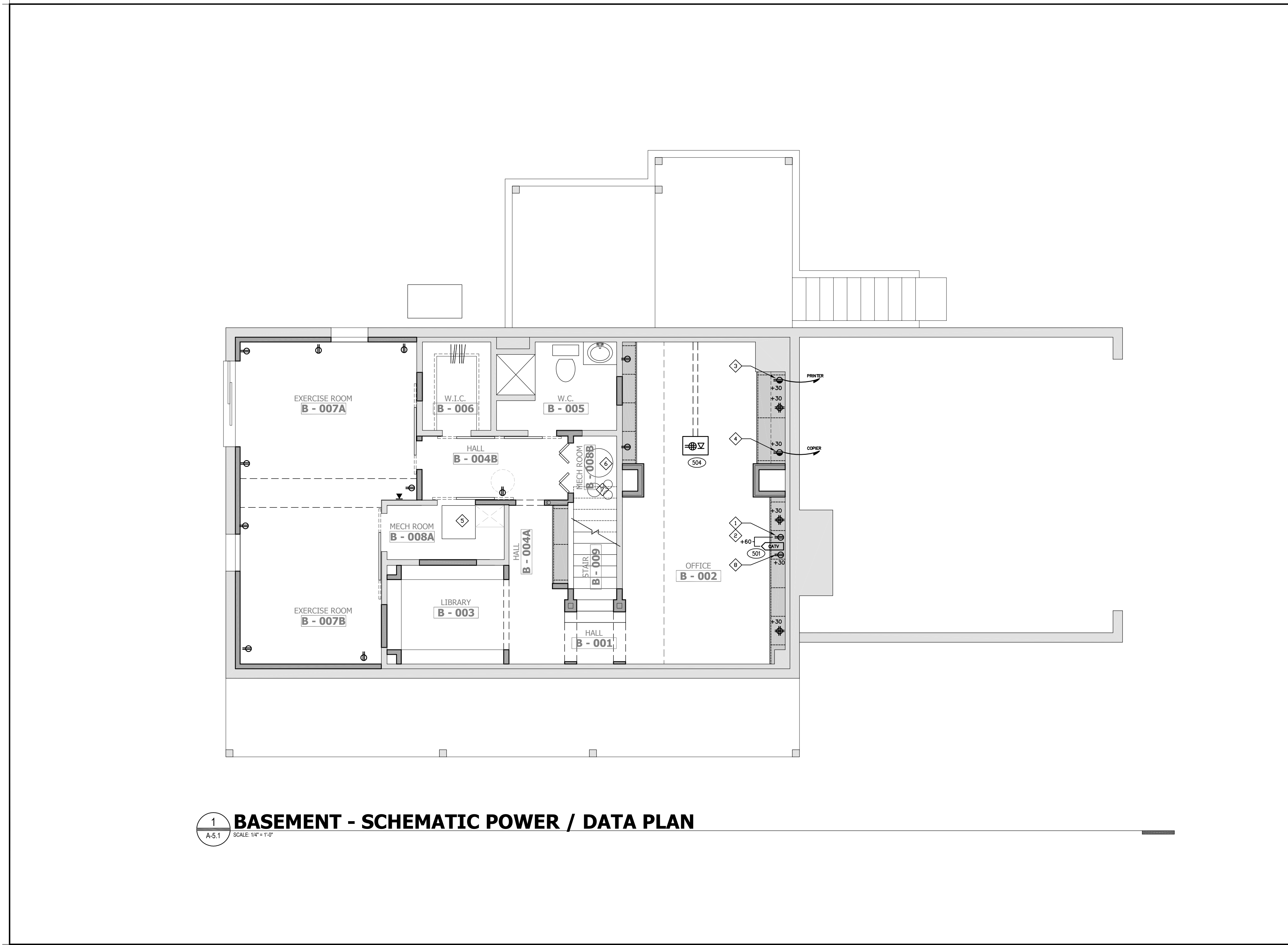
**SECOND FLOOR  
REFLECTIVE CEILING PLAN**

ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID

**A - 4.3**



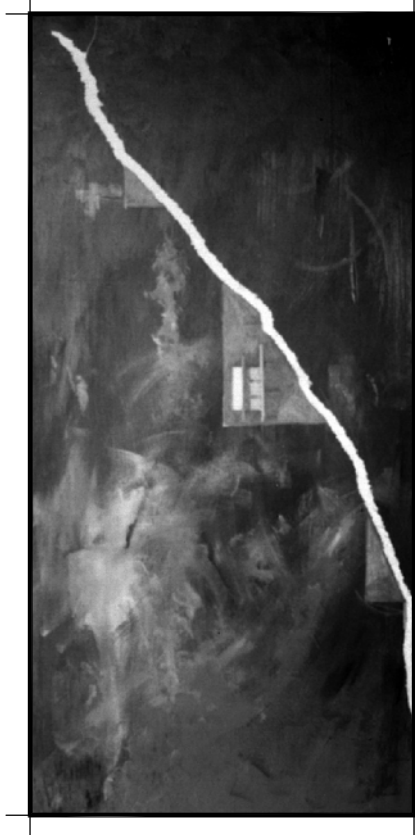
**1 BASEMENT - SCHEMATIC POWER / DATA PLAN**  
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
SYM.	DESCRIPTION
⌚	SINGLE POLE SWITCH
⌚ <sub>3</sub>	3 WAY POLE SWITCH
D	DIMMER SWITCH
⌚ <sub>3</sub>	3 WAY DIMMER SWITCH
⌚	RHEOSTAT
⌚ <sub>R+60"</sub>	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.
⌚	JUNCTION BOX
⌚ <sub>CATV</sub>	CABLE T.V. OUTLET
⌚	TEL/DATA OUTLET
⌚ <sub>R+60"</sub>	WALL MOUNTED TELEPHONE OUTLET
⌚ <sub>R+60"</sub>	SINGLE OUTLET RECESSED MOUNTED AT 60" A.F.F.
⌚ <sub>GFI</sub>	DUPLEX OUTLET
⌚ <sub>GFI</sub>	GROUND-FAULT CIRCUIT INTERRUPTER
⌚ <sub>AFCI</sub>	ARC-FAULT CIRCUIT INTERRUPTER
⌚ <sub>WP</sub>	EXTERIOR WATER-PROOF OUTLET
⌚ <sub>H</sub>	DUPLEX OUTLET (# INDICATES HGT. A.F.F.)
⌚ <sub>H</sub>	DUPLEX OUTLET-MOUNTED HORIZONTALLY
⌚	QUADRUPLUX OUTLET
⌚	HALF-SWITCHED OUTLET

EQUIPMENT SCHEDULE			
NO.	LOCATION (RM NO.)	ITEM	NOTES
1	OFFICE (B-002)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.
2	OFFICE (B-002)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER
3	OFFICE (B-002)	PRINTER	-
4	OFFICE (B-002)	COPIER	-
5	MECH ROOM (B-008A)	EXISTING FURN	-
6	MECH ROOM (B-008B)	EXISTING H.W.H.	-
7	MECH ROOM (B-008B)	EX'G WATER FILTER	-
8	OFFICE (B-002)	CABLE T.V. RECIEVER	-
9	EXERISE ROOM (B-007B)	T.V.	WALL MOUNTED @ 6'-0" A.F.F.
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER
11	OFFICE (B-002)	CABLE T.V. RECIEVER	-
12	FAMILY ROOM (1-003)	GAS FIREPLACE	Regency P33 Sunrise Bronze
13	FAMILY ROOM (1-003)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER
15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	-
16	ENTRY (1-001)	DOOR BUZZER	-
17	KITCHEN (1-008)	MICROWAVE	Advantium? 120V - 30 in. Wall Oven
18	KITCHEN (1-008)	COOKTOP / OVEN	30" Free-Standing Double Oven Range
19	KITCHEN (1-008)	DISHWASHER	Interior Built-In Dishwasher with Hidden Controls
20	KITCHEN (1-008)	REFRIGERATOR	ENERGY STAR? 28.5 Cu. Ft. French-Door Refrigerator
21	EX'G GARAGE (1-010)	REFRIGERATOR	RELOCATED
22	KITCHEN (1-008)	RANGE HOOD	30" Wall-Mount Hood
23	KITCHEN (1-008)	DISPOSAL	-
24	LAUNDRY (2-005)	WASHER	RELOCATED FROM BASEMENT
25	LAUNDRY (2-005)	DRYER	RELOCATED FROM BASEMENT
26	MASTER BATH (2-003)	HAIRDRYER	-

PLAN KEYNOTES	
501	RELOCATED CATV OUTLET, AS INDICATED
502	CONTRACTOR TO V.I.F. EXISTING OUTLETS, RELOCATE AS REQUIRED BY NEW WORK.
503	COORDINATE SWITCHES W/ RCP LIGHTING REQUIREMENTS. PLACEMENT OF SWITCHES TO BE HORIZONTAL.
504	CONTRACTOR TO PROVIDE ADD / ALT PRICING FOR POWER / DATA OUTLET.

- GENERAL PLAN NOTES**
- SCHEMATIC ELECTRIC PLANS, NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.
  - OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 18" A.F.F. U.N.O.
  - SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.
  - CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.
  - ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
  - THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR DESIGNER PRIOR TO WIRING.
  - THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.
  - ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.
  - WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
  - THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL INSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS CONTRACT.
  - THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.
  - IN GENERAL, NOT MORE THAN (10) LIGHTING AND/OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.
  - CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR); GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.
  - LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10% VARIATION.
  - FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.
  - FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.
  - ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
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  - FURNISH AND INSTALL A 3-INCH-DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PLASTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 16 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION. TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS.
  - CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.
  - THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.
  - UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNERS PROPERTY, LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.
  - CONTRACTOR TO VERIFY EXG. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



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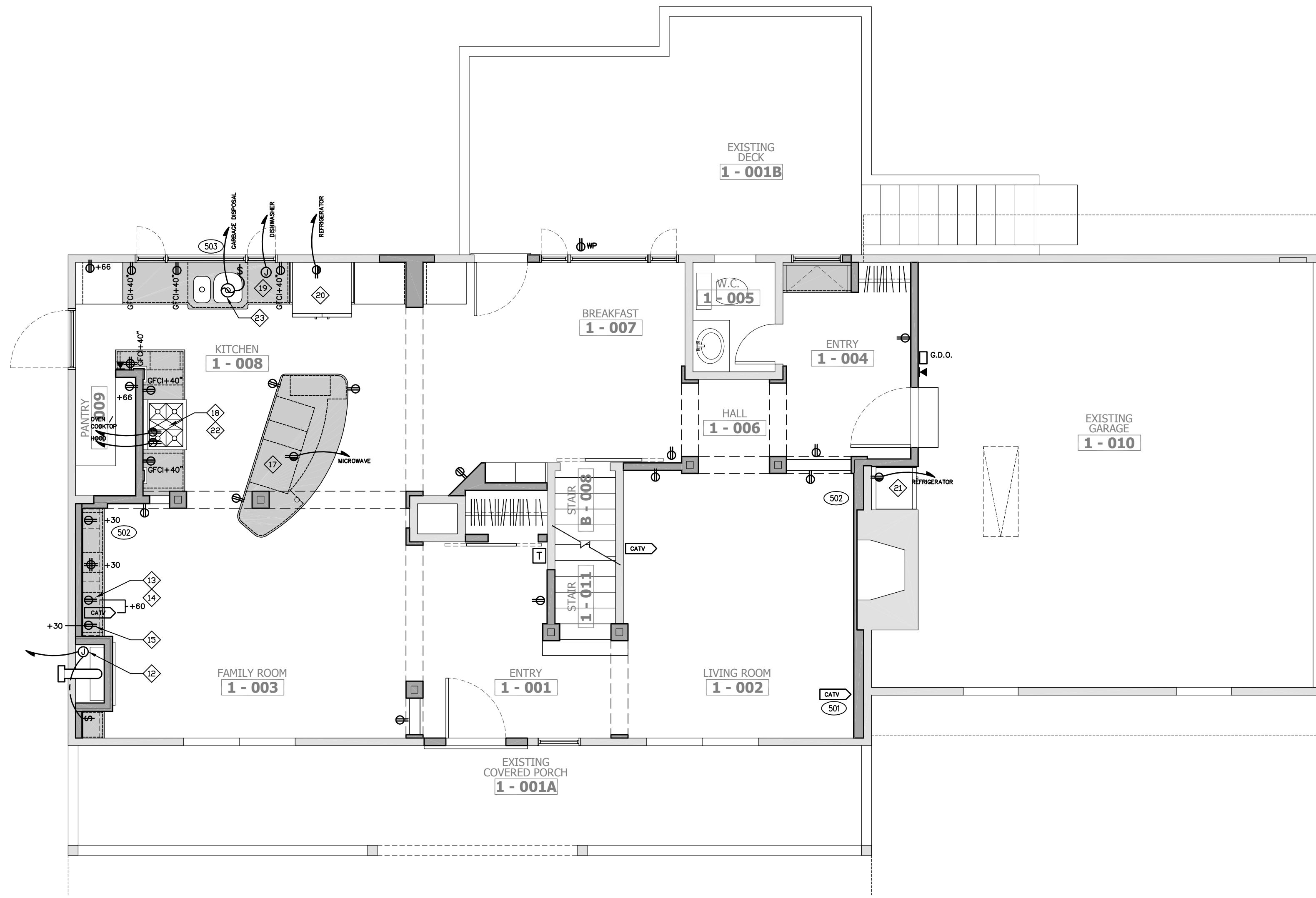
**BASEMENT POWER / DATA PLAN**

ISSUE DATE	
DATE	DESCRIPTION
08.23.2010	CLIENT SUBMISSION
09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	
NO.	DESCRIPTION

VOID





**1 FIRST FLOOR - SCHEMATIC POWER / DATA PLAN**  
A-5.2 SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

SYM.	DESCRIPTION	SYM.	DESCRIPTION
⊠	SINGLE POLE SWITCH	☑	GARBAGE DISPOSAL
⊠	3 WAY POLE SWITCH	E	EXISTING ITEM TO REMAIN
D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED
⊠	3 WAY DIMMER SWITCH	⊠ U/L	UNDER 'CABINET LIGHT', COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET
⊠	RHEOSTAT	⊠	DEDICATED CIRCUIT
⊠ R+60°	SINGLE OUTLET RECESSED MOUNTED AT 60° A.F.F.	⊠	FLUSH FLOOR MOUNTED QUAD / PHONE OUTLET.
⊠	JUNCTION BOX		
⊠ CATV	CABLE T.V. OUTLET		
⊠	TEL/DATA OUTLET		
⊠	WALL MOUNTED TELEPHONE OUTLET		
⊠ R+60°	SINGLE OUTLET RECESSED MOUNTED AT 60° A.F.F.		
⊠	DUPLEX OUTLET		
⊠ GFI	GROUND-FAULT CIRCUIT INTERRUPTER		
⊠ AFCI	ARC-FAULT CIRCUIT INTERRUPTER		
⊠ WP	EXTERIOR WATER-PROOF OUTLET		
⊠	DUPLEX OUTLET (# INDICATES HGT. A.F.F.)		
⊠	DUPLEX OUTLET-MOUNTED HORIZONTALLY		
⊠	QUADRUPLUX OUTLET		
⊠	HALF-SWITCHED OUTLET		

**EQUIPMENT SCHEDULE**

NO.	LOCATION (RM NO.)	ITEM	NOTES	NO.	LOCATION (RM NO.)	ITEM	NOTES
1	OFFICE (B-002)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.	20	KITCHEN (1-008)	REFRIGERATOR	ENERGY STAR? 28.5 Cu. Ft. French-Door Refrigerator
2	OFFICE (B-002)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER	21	EX'G GARAGE (1-010)	REFRIGERATOR	RELOCATED
3	OFFICE (B-002)	PRINTER	-	22	KITCHEN (1-008)	RANGE HOOD	30" Wall-Mount Hood
4	OFFICE (B-002)	COPIER	-	23	KITCHEN (1-008)	DISPOSAL	-
5	MECH ROOM (B-008A)	EXISTING FURN	-	24	LAUNDRY (2-005)	WASHER	RELOCATED FROM BASEMENT
6	MECH ROOM (B-008B)	EXISTING H.W.H.	-	25	LAUNDRY (2-005)	DRYER	RELOCATED FROM BASEMENT
7	MECH ROOM (B-008B)	EX'G WATER FILTER	-	26	MASTER BATH (2-003)	HAIRDRYER	-
8	OFFICE (B-002)	CABLE T.V. RECIEVER	-				
9	EXERISE ROOM (B-007B)	T.V.	WALL MOUNTED @ 6'-0" A.F.F.				
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER				
11	OFFICE (B-002)	CABLE T.V. RECIEVER	-				
12	FAMILY ROOM (1-003)	GAS FIREPLACE	Regency P33 Sunrise Bronze				
13	FAMILY ROOM (1-003)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.				
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER				
15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	-				
16	ENTRY (1-001)	DOOR BUZZER	-				
17	KITCHEN (1-008)	MICROWAVE	Advantium? 120V - 30 in. Wall Oven				
18	KITCHEN (1-008)	COOKTOP / OVEN	30" Free-Standing Double Oven Range				
19	KITCHEN (1-008)	DISHWASHER	Interior Built-in Dishwasher with Hidden Controls				

**PLAN KEYNOTES**

- 501 RELOCATED CATV OUTLET, AS INDICATED
- 502 CONTRACTOR TO V.I.F. EXISTING OUTLETS, RELOCATE AS REQUIRED BY NEW WORK.
- 503 COORDINATE SWITCHES W/ RCP LIGHTING REQUIREMENTS. PLACEMENT OF SWITCHES TO BE HORIZONTAL.
- 504 CONTRACTOR TO PROVIDE ADD / ALT PRICING FOR POWER / DATA OUTLET.

**GENERAL PLAN NOTES**

- 1) SCHEMATIC ELECTRICAL PLANS, NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.
- 2) OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 18" A.F.F. U.N.O.
- 3) SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.
- 4) CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.
- 5) ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
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- 7) THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.
- 8) ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.
- 9) WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
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- 20) CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.
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- 22) UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY, LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.
- 23) CONTRACTOR TO VERIFY EXG. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



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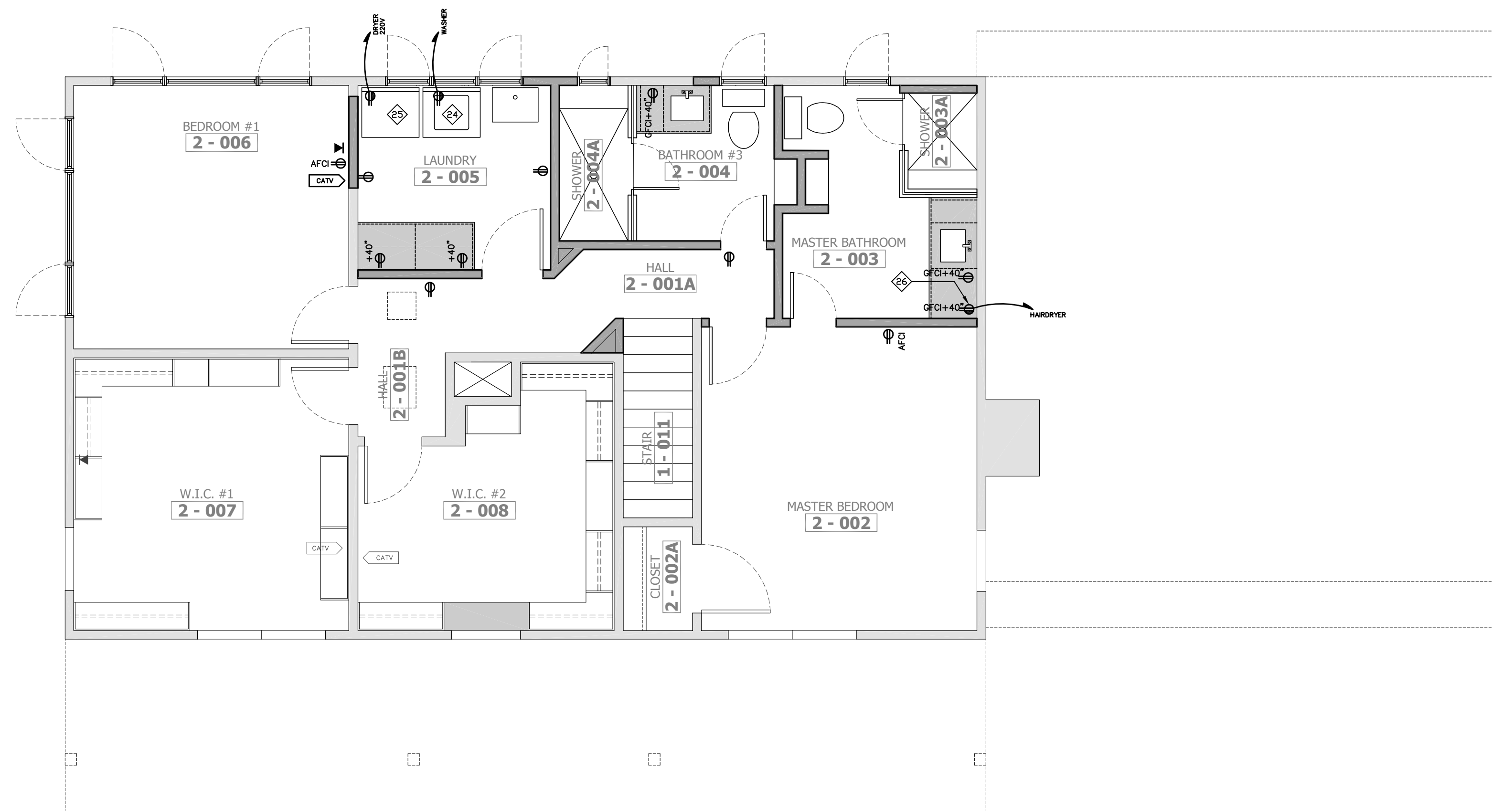
**RICHOSTELLEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3333 WWW.RICHOSTELLEY.COM

**FIRST FLOOR POWER / DATA PLAN**

ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID



**1 SECOND FLOOR - SCHEMATIC POWER / DATA PLAN**  
SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

SYM.	DESCRIPTION	SYM.	DESCRIPTION
⌚	SINGLE POLE SWITCH	☑	GARBAGE DISPOSAL
⌚ <sub>3</sub>	3 WAY POLE SWITCH	E	EXISTING ITEM TO REMAIN
D	DIMMER SWITCH	R	EXISTING ITEM TO BE RELOCATED
⌚ <sub>3</sub>	3 WAY DIMMER SWITCH	⌚ <sub>u/c</sub>	UNDER 'CABINET LIGHT', COORDINATE LENGTH TO MATCH FULL AVAILABLE LENGTH OF CABINET
⌚	RHEOSTAT	⌚	DEDICATED CIRCUIT
⌚ <sub>R+60°</sub>	SINGLE OUTLET RECESSED MOUNTED AT 60° A.F.F.	⌚	FLUSH FLOOR MOUNTED QUAD / PHONE OUTLET.
⌚	JUNCTION BOX		
⌚ <sub>CATV</sub>	CABLE T.V. OUTLET		
⌚	TEL/DATA OUTLET		
⌚	WALL MOUNTED TELEPHONE OUTLET		
⌚ <sub>R+60°</sub>	SINGLE OUTLET RECESSED MOUNTED AT 60° A.F.F.		
⌚	DUPLEX OUTLET		
⌚ <sub>GFCI</sub>	GROUND-FAULT CIRCUIT INTERRUPTER		
⌚ <sub>AFCI</sub>	ARC-FAULT CIRCUIT INTERRUPTER		
⌚ <sub>WP</sub>	EXTERIOR WATER-PROOF OUTLET		
⌚ <sub>H</sub>	DUPLEX OUTLET (# INDICATES HGT. A.F.F.)		
⌚ <sub>H</sub>	DUPLEX OUTLET-MOUNTED HORIZONTALLY		
⌚	QUADRUPLX OUTLET		
⌚	HALF-SWITCHED OUTLET		

**EQUIPMENT SCHEDULE**

NO.	LOCATION (RM NO.)	ITEM	NOTES	NO.	LOCATION (RM NO.)	ITEM	NOTES
1	OFFICE (B-002)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.	20	KITCHEN (1-008)	REFRIGERATOR	ENERGY STAR? 28.5 Cu. Ft. French-Door Refrigerator
2	OFFICE (B-002)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER	21	EX'G GARAGE (1-010)	REFRIGERATOR	RELOCATED
3	OFFICE (B-002)	PRINTER	-	22	KITCHEN (1-008)	RANGE HOOD	30" Wall-Mount Hood
4	OFFICE (B-002)	COPIER	-	23	KITCHEN (1-008)	DISPOSAL	-
5	MECH ROOM (B-008A)	EXISTING FURN	-	24	LAUNDRY (2-005)	WASHER	RELOCATED FROM BASEMENT
6	MECH ROOM (B-008B)	EXISTING H.W.H.	-	25	LAUNDRY (2-005)	DRYER	RELOCATED FROM BASEMENT
7	MECH ROOM (B-008B)	EX'G WATER FILTER	-	26	MASTER BATH (2-003)	HAIRDRYER	-
8	OFFICE (B-002)	CABLE T.V. RECIEVER	-				
9	EXERISE ROOM (B-007B)	T.V.	WALL MOUNTED @ 6'-0" A.F.F.				
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER				
11	OFFICE (B-002)	CABLE T.V. RECIEVER	-				
12	FAMILY ROOM (1-003)	GAS FIREPLACE	Regency P33 Sunrise Bronze				
13	FAMILY ROOM (1-003)	T.V.	WALL MOUNTED @ 5'-0" A.F.F.				
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT	CORRDINATE LOCATION W/ OWNER				
15	FAMILY ROOM (1-003)	CABLE T.V. RECIEVER	-				
16	ENTRY (1-001)	DOOR BUZZER	-				
17	KITCHEN (1-008)	MICROWAVE	Advantium? 120V - 30 in. Wall Oven				
18	KITCHEN (1-008)	COOKTOP / OVEN	30" Free-Standing Double Oven Range				
19	KITCHEN (1-008)	DISHWASHER	Interior Built-In Dishwasher with Hidden Controls				

**PLAN KEYNOTES**

- 501 RELOCATED CATV OUTLET, AS INDICATED
- 502 CONTRACTOR TO V.I.F. EXISTING OUTLETS, RELOCATE AS REQUIRED BY NEW WORK.
- 503 COORDINATE SWITCHES W/ RCP LIGHTING REQUIREMENTS. PLACEMENT OF SWITCHES TO BE HORIZONTAL.
- 504 CONTRACTOR TO PROVIDE ADD / ALT PRICING FOR POWER / DATA OUTLET.

**GENERAL PLAN NOTES**

- 1) SCHEMATIC (ELECTRIC PLANS), NOTES, AND FIXTURE SCHEDULE, IS FOR GENERAL LAYOUT / SCHEMATIC PLANNING. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY TO FURNISH, INSTALL, OR WIRE A SPECIFIC ITEM ON THE ELECTRICAL DRAWINGS, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE.
- 2) OUTLETS (ELEC, TEL & DATA) TO BE MOUNTED @ 18" A.F.F. U.N.O.
- 3) SWITCHES TO BE MOUNTED @ 52" A.F.F. TO CENTERLINE U.N.O.
- 4) CONTRACTOR TO NOTIFY OWNER AND ARCHITECT AFTER INSTALLATION OF ALL RECESSED LIGHTS, JUNCTION, SWITCH, & OUTLET BOXES, FOR APPROVAL PRIOR TO PULLING WIRE.
- 5) ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. JUNCTION BOXES SHALL BE SECURELY FASTENED, SET TRUE AND PLUMB, AND FLUSH WITH FINISHED SURFACE WHEN WIRING METHOD IS CONCEALED.
- 6) THE ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION, HEIGHTS, OUTLET AND SWITCH ARRANGEMENTS, AND EQUIPMENT PRIOR TO ROUGH-IN. NO ADDITIONS TO THE CONTRACT SUM WILL BE PERMITTED FOR OUTLETS IN WRONG LOCATIONS, OR IN CONFLICT WITH OTHER WORK. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE UP TO 10 FEET PRIOR TO ROUGH-IN, WITHOUT ANY CHARGE BY THE ELECTRICAL CONTRACTOR. CONTRACTOR TO RECEIVE APPROVAL OF BOX LOCATIONS FROM OWNER AND OR DESIGNER PRIOR TO WIRING.
- 7) THE ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ELECTRICAL CODES, AND THE UTILITY COMPANY'S REQUIREMENTS.
- 8) ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC. OR ANOTHER LABORATORY FOR A SPECIFIC PURPOSE.
- 9) WIRING SHALL BE ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
- 10) THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION FEES, AND TAXES APPLICABLE TO THE ELECTRICAL INSTALLATION AND SHALL INCLUDE THESE COSTS IN THE BASE BID AS PART OF THIS CONTRACT.
- 11) THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING AND INCLUDE ALL COST IN BASE BID.
- 12) IN GENERAL, NOT MORE THAN (10) LIGHTING AND/OR RECEPTACLE OUTLETS SHALL BE CONNECTED TO ANY ONE LIGHTING BRANCH CIRCUIT. EXCEPTIONS MAY BE MADE IN THE CASE OF LOW-CURRENT-CONSUMING OUTLETS.
- 13) CONDUCTOR SIZE (MUST BE VERIFIED BY ELECTRICAL CONTRACTOR); GENERAL LIGHTING BRANCH CIRCUITS SHALL BE NO. 14 AWG COPPER PROTECTED BY 15-AMPERE OVER CURRENT DEVICES. SMALL APPLIANCE CIRCUITS SHALL BE NO. 12 AWG COPPER PROTECTED BY 20-AMPERE OVER CURRENT DEVICES. ALL OTHER CIRCUITS SHALL BE WIRED AND PROVIDED OVER CURRENT DEVICE AS REQUIRED BY CODE.
- 14) LOAD BALANCING: THE ELECTRICAL CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 10% VARIATION.
- 15) FIXTURE ALLOWANCES SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S BID. THESE ALLOWANCES SHALL INCLUDE THE FURNISHING AND INSTALLATION OF ALL SURFACE, RECESSED, TRACK, STRIP, PENDANT, AND/OR HANGING FIXTURES, COMPLETE WITH LAMPS WHERE INDICATED ON ELECTRICAL FIXTURE SCHEDULE.
- 16) FURNISH AND INSTALL LIGHT UNITS WHERE INDICATED ON THE PLANS COMPLETE WITH SWITCH ASSEMBLY AND LIGHTING OPERATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 17) ALL CONVENIENCE RECEPTACLES SHALL BE OF THE GROUNDING TYPE. FURNISH AND INSTALL WHERE INDICATED, GROUND-FAULT CIRCUIT INTERRUPTER RECEPTACLES TO PROVIDE GROUND-FAULT CIRCUIT PROTECTION AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
- 18) FURNISH AND INSTALL 4-INCH SQUARE, 1 1/2-INCH-DEEP OUTLET BOXES WITH SINGLE-GANG RAISED PASTER COVERS AT EACH TELEVISION OUTLET WHERE NOTED ON THE PLANS. MOUNT AT THE SAME HEIGHT AS RECEPTACLE OUTLETS. FURNISH AND INSTALL 75-OHM COAXIAL CABLE TO EACH TELEVISION OUTLET FROM A POINT IN THE WORKSHOP NEAR THE MAIN SERVICE-ENTRANCE SWITCH. ALLOW 6 FEET OF CABLE. FURNISH AND INSTALL TELEVISION PLUG-IN JACKS AT EACH LOCATION. FACE PLATES ARE TO MATCH FACE PLATES OF RECEPTACLES.
- 19) FURNISH AND INSTALL A 3-INCH-DEEP DEVICE BOX WITH SUITABLE SINGLE-GANG RAISED PASTER COVER AT EACH TELEPHONE LOCATION, AS INDICATED ON THE PLANS. FURNISH AND INSTALL SIX-CONDUCTOR, NO. 18 AWG COPPER TELEPHONE CABLE TO EACH DESIGNATED TELEPHONE LOCATION. TERMINATE IN PROPER MODULAR JACK, COMPLETE WITH FACE PLATES TO MATCH FACE PLATES OF RECEPTACLES. INSTALLATION SHALL BE ACCORDING TO ANY AND ALL APPLICABLE NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS.
- 20) CIRCUIT IDENTIFICATION: ALL PANEL BOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING.
- 21) THE ELECTRICAL CONTRACTOR SHALL SEAL AND WEATHERPROOF ALL PENETRATIONS THROUGH FOUNDATIONS, EXTERIOR WALLS, AND ROOFS.
- 22) UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, AND REMOVE SURPLUS MATERIALS AND RUBBISH FROM THE OWNER'S PROPERTY, LEAVING THE WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY CARTONS, DEBRIS, AND RUBBISH FOR EQUIPMENT INSTALLED BY THE ELECTRICAL CONTRACTOR, INCLUDING EQUIPMENT FURNISHED BY THE OWNER OR OTHERS AND REMOVED FROM THE CARTON BY ELECTRICAL CONTRACTOR.
- 23) CONTRACTOR TO VERIFY EXG. ELECTRICAL SERVICE SIZE IS ADEQUATE FOR ADDITIONAL CIRCUITS ASSOCIATED WITH THIS CONSTRUCTION, AND SPARE CIRCUITS. CONTRACTOR TO UPGRADE IF NECESSARY UNDER SEPARATE CONTRACT.



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

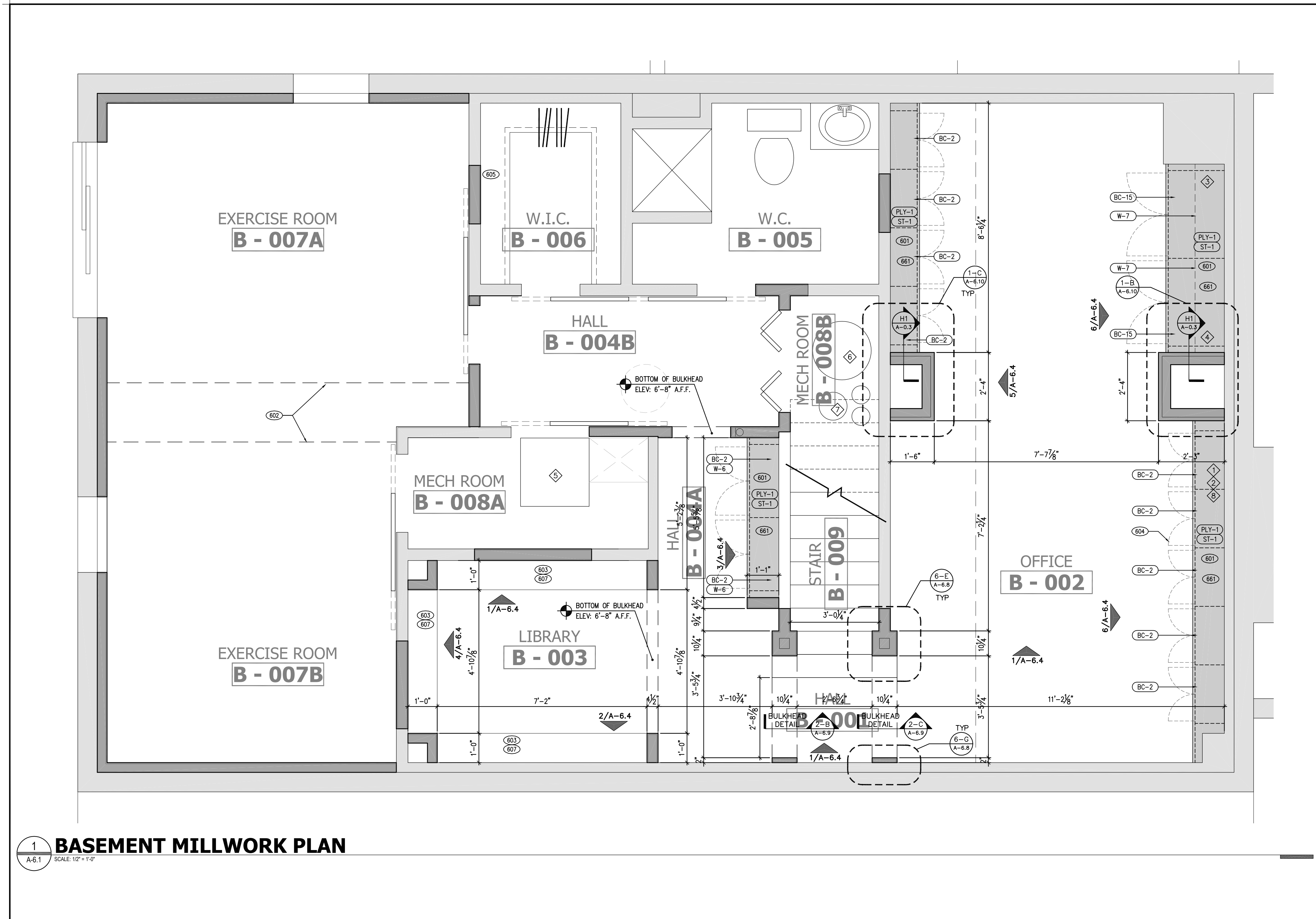
**RICHOSTELLEY**  
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**SECOND FLOOR POWER / DATA PLAN**

ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DATE	DESCRIPTION

VOID



**1 BASEMENT MILLWORK PLAN**  
A-6.1 SCALE: 1/2" = 1'-0"

NO.	LOCATION (RM NO.)	ITEM	NO.	LOCATION (RM NO.)	ITEM
1	OFFICE (B-002)	T.V.	23	KITCHEN (1-008)	DISPOSAL
2	OFFICE (B-002)	T.V. WALL MOUNT	24	LAUNDRY (2-005)	WASHER
3	OFFICE (B-002)	PRINTER	25	LAUNDRY (2-005)	DRYER
4	OFFICE (B-002)	COPIER	26	MASTER BATH (2-003)	HAIRDRYER
5	MECH ROOM (B-008A)	EXISTING FURN			
6	MECH ROOM (B-008B)	EXISTING H.W.H.			
7	MECH ROOM (B-008B)	EX'G WATER FILTER			
8	OFFICE (B-002)	CABLE T.V. RECEIVER			
9	EXERISE ROOM (B-007B)	T.V.			
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT			
11	OFFICE (B-002)	CABLE T.V. RECEIVER			
12	FAMILY ROOM (1-003)	GAS FIREPLACE			
13	FAMILY ROOM (1-003)	T.V.			
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT			
15	FAMILY ROOM (1-003)	CABLE T.V. RECEIVER			
16	ENTRY (1-001)	DOOR BUZZER			
17	KITCHEN (1-008)	MICROWAVE			
18	KITCHEN (1-008)	COOKTOP / OVEN			
19	KITCHEN (1-008)	DISHWASHER			
20	KITCHEN (1-008)	REFRIGERATOR			
21	EX'G GARAGE (1-010)	REFRIGERATOR			
22	KITCHEN (1-008)	RANGE HOOD			

NO.	ITEM	NO.	ITEM
P1	DOUBLE SINK	P6	FAUCET
P2	PULLDOWN FAUCET	P7	CENTRAL THERMOSTAT
P3	SINK	P8	SHOWERHEAD
P4	FAUCET	P9	CENTRAL THERMOSTAT
P5	SINK	P10	SHOWERHEAD
P6	FAUCET	P11	RELOCATED UTILITY SINK
P7	CENTRAL THERMOSTAT	P12	RELOCATED TOILET
P8	SHOWERHEAD	P13	RELOCATED TOILET
P9	CENTRAL THERMOSTAT		
P10	SHOWERHEAD		
P11	RELOCATED UTILITY SINK		
P12	RELOCATED TOILET		
P13	RELOCATED TOILET		

NO.	MANUFACTURER ID	TYPE	W	D	H	NO.	MANUFACTURER ID	TYPE	W	D	H
BC-1	B_*FWT3024	BASE W/ DBL DOOR W/ FULL TRAY	30"	24"	34-1/2"	W-2	W	WALL CABINET W/ 2 DOORS	24"	12"	42"
BC-2	B_*FH2412	BASE W/ DBL DOOR	24"	12"	34-1/2"	W-3	W	WALL CABINET	15"	12"	42"
BC-3	B_*FH3012	BASE W/ DBL DOOR	30"	12"	34-1/2"	W-4	W	WALL CABINET	24"	12"	18"
BC-4	B_*2FWT2124	BASE DBL DOOR W/ 2 FULL TRAY	21"	24"	34-1/2"	W-5	W	WALL CABINET	15"	12"	18"
BC-5	BPP924	BASE PANTRY PULLOUT	9"	24"	34-1/2"	W-6	W	WALL CABINET	30"	12"	36"
BC-6	B924	BASE SINGLE DOOR W/ TRAY DIVIDER	9"	24"	34-1/2"	W-7	W	WALL CABINET	36"	12"	36"
BC-7	B_*FH1812	BASE SINGLE DOOR	18"	12"	34-1/2"						
BC-8	B_*4T3924	BASE DBL DOOR W/ 4 TRAYS	39"	24"	34-1/2"						
BC-9	SBC3627	SINK BASE W/ CLIPPED CORNERS	36"	27"	34-1/2"						
BC-10	BWBT_*2*FH	TOP MOUNT WASTEBASKET FULL HGT.	15"	24"	34-1/2"						
BC-11	BD_*3	BASE W/ 3 DRAWERS	12"	24"	34-1/2"						
BC-12	BMC2724	BASE MICROWAVE W/ DRAWER	27"	24"	34-1/2"						
BC-13	DB1224	BASE W/ 4 DRAWERS	12"	24"	34-1/2"						
BC-14	SB2424	VANITY SINK BASE	24"	24"	34-1/2"						
BC-15	B_*FWT3624	BASE W/ DOUBLE DOOR / FULL TRAY	36"	24"	34-1/2"						
PC-1	MSP242496	TALL PANTRY	24"	24"	96"						
PC-2	UC302496	UTILITY PANTRY	24"	24"	96"						
PC-3	PS242496	TALL PANTRY	24"	24"	96"						
PC-4	UC361296	UTILITY PANTRY	36"	12"	96"						
PC-5	UC241284	UTILITY PANTRY	24"	12"	84"						
RC-1	RTC392496	REFRIGERATOR PANTRY	39"	24"	96"						
W-1	W	WALL CABINET W/ 2 DOORS	30"	12"	42"						

- KEYNOTES**
- KITCHEN COUNTER, VANITY, WORKCOUNTER, ENTERTAINMENT COUNTER, CABINETS, AND ISLAND LAYOUT IS CONCEPTUAL. ALL CABINET / MILLWORK MUST BE V.I.F. WITH EXISTING CONDITIONS AND NEW WORK. DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
  - PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEEL BEAM LOCATION.
  - 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
  - INDICATES CABINET DOOR SWING, TYP.
  - USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
  - 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
  - ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK BRACKET.
  - PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
  - SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
  - CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. BY CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
  - PLUMBING WALL
  - SEE 6/A-6.9 FOR WINDOW DETAIL.
  - WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
  - WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
  - WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
  - WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
  - PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
  - NEW FINISHED OAK, STAINED, TREAD / RISER.
  - METAL 1-1/2" CLOSET ROD.
  - PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
  - OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
  - CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL. 3/4" (MIN.) THICKNESS, WITH PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS, ETC.
  - METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
  - DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
  - CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
  - SYSTEM BASE, PER MANUFACTURER.
  - EXISTING WINDOW / DOOR UNIT.
  - PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
  - NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
  - COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
  - TEMPERED, FRAMELESS GLASS SHOWER.
  - SEE 6/A-6.9 FOR WINDOW DETAILS.
  - NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
  - PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
  - PTD. 1x
  - PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
  - PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING.
  - FINISHED WALL LINE BEHIND.
  - SCHEDULED 1x
  - SCHEDULED WALL, SEE WALL TYPE SCHEDULE.
  - 1x BLOCKING.
  - 2x BLOCKING.
  - PROVIDE BLOCKING/SUPPORT FOR MILLWORK.
  - 1/2" PTD. GYP. BRD.
  - C.T., PROVIDE 1/2" BACKER BOARD.
  - GLASS TILE, PROVIDE 1/2" BACKER BOARD.
  - SCHEDULED CABINET.
  - SCHEDULED COUNTER-TOP.
  - EXISTING CONSTRUCTION.
  - STAIN GRADE 3/4" PLYWOOD.
  - PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.
  - 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
  - MID SPAN BLOCKING.
  - MITER MATERIAL @ CORNER.
  - STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.
  - PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
  - SOFTFORM SWR WALL REVEAL, OR EQUAL.
  - 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
  - PROVIDE BLOCKING / OPENING FOR T.V. BRACKET, REF TO MANUFACTURER SPECS.
  - PROVIDE (2) 2" PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
  - SEE COUNTER-TOP DETAIL 7/A-6.9
  - PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
  - SHELVING SYSTEM; IKEA - MODEL LUSJAL; 31-1/8" x 7-1/2"
  - PROVIDE FILLER PANEL TO MATCH MILLWORK.
  - CABINET END PANEL.
  - CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER STYLE, AND OPTIONS.
  - CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
  - SEE DETAIL 1/??? FOR SHOWER / SEAT DETAILS.
  - PROVIDE SEALANT
  - WALL SHELF; IKEA - MODEL LUSJAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT, WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

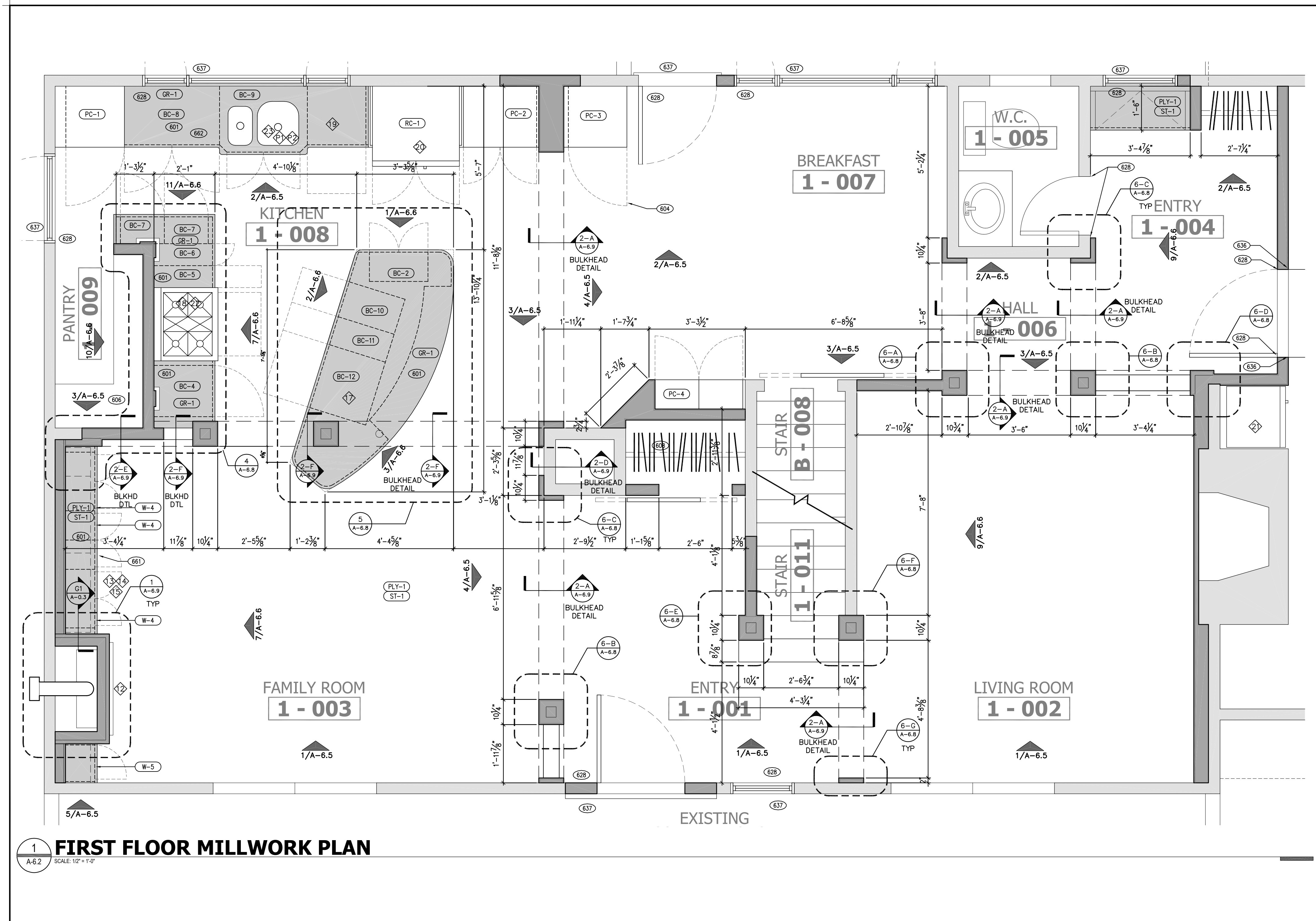
**RICHOSTELLE**  
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**BASEMENT MILLWORK PLAN**

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ISSUE DATE	DATE	DESCRIPTION
	08.23.2010	CLIENT SUBMISSION
	09.30.2010	100% CD / BID SUBMISSION

**VOID**



**1 FIRST FLOOR MILLWORK PLAN**  
A-6.2 SCALE: 1/8" = 1'-0"

NO.	LOCATION (RM NO.)	ITEM	NO.	LOCATION (RM NO.)	ITEM
1	OFFICE (B-002)	T.V.	23	KITCHEN (1-008)	DISPOSAL
2	OFFICE (B-002)	T.V. WALL MOUNT	24	LAUNDRY (2-005)	WASHER
3	OFFICE (B-002)	PRINTER	25	LAUNDRY (2-005)	DRYER
4	OFFICE (B-002)	COPIER	26	MASTER BATH (2-003)	HAIRDRYER
5	MECH ROOM (B-008A)	EXISTING FURN			
6	MECH ROOM (B-008B)	EXISTING H.W.H.			
7	MECH ROOM (B-008B)	EX'G WATER FILTER			
8	OFFICE (B-002)	CABLE T.V. RECEIVER			
9	EXERISE ROOM (B-007B)	T.V.			
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT			
11	OFFICE (B-002)	CABLE T.V. RECEIVER			
12	FAMILY ROOM (1-003)	GAS FIREPLACE			
13	FAMILY ROOM (1-003)	T.V.			
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT			
15	FAMILY ROOM (1-003)	CABLE T.V. RECEIVER			
16	ENTRY (1-001)	DOOR BUZZER			
17	KITCHEN (1-008)	MICROWAVE			
18	KITCHEN (1-008)	COOKTOP / OVEN			
19	KITCHEN (1-008)	DISHWASHER			
20	KITCHEN (1-008)	REFRIGERATOR			
21	EX'G GARAGE (1-010)	REFRIGERATOR			
22	KITCHEN (1-008)	RANGE HOOD			

NO.	ITEM	NO.	ITEM
P1	DOUBLE SINK	P2	PULLDOWN FAUCET
P3	SINK	P4	FAUCET
P5	SINK	P6	FAUCET
P7	CENTRAL THERMOSTAT	P8	SHOWERHEAD
P9	CENTRAL THERMOSTAT	P10	SHOWERHEAD
P11	RELOCATED UTILITY SINK	P12	RELOCATED TOILET
P13	RELOCATED TOILET		

NO.	MANUFACTURER ID	TYPE	W	D	H	NO.	MANUFACTURER ID	TYPE	W	D	H
BC-1	B_*FWT3024	BASE W/ DBL DOOR W/ FULL TRAY	30"	24"	34-1/2"	W-2	W	WALL CABINET W/ 2 DOORS	24"	12"	42"
BC-2	B_*FH2412	BASE W/ DBL DOOR	24"	12"	34-1/2"	W-3	W	WALL CABINET	15"	12"	42"
BC-3	B_*FH3012	BASE W/ DBL DOOR	30"	12"	34-1/2"	W-4	W	WALL CABINET	24"	12"	18"
BC-4	B_*2FWT2124	BASE DBL DOOR W/ 2 FULL TRAY	21"	24"	34-1/2"	W-5	W	WALL CABINET	15"	12"	18"
BC-5	BPP924	BASE PANTRY PULLOUT	9"	24"	34-1/2"	W-6	W	WALL CABINET	30"	12"	36"
BC-6	B924	BASE SINGLE DOOR W/ TRAY DIVIDER	9"	24"	34-1/2"	W-7	W	WALL CABINET	36"	12"	36"
BC-7	B_*FH1812	BASE SINGLE DOOR	18"	12"	34-1/2"						
BC-8	B_*4T3924	BASE DBL DOOR W/ 4 TRAYS	39"	24"	34-1/2"						
BC-9	SBCC3627	SINK BASE W/ CLIPPED CORNERS	36"	27"	34-1/2"						
BC-10	BWBT_*2FH	TOP MOUNT WASTEBASKET FULL HGT.	15"	24"	34-1/2"						
BC-11	BD_*3	BASE W/ 3 DRAWERS	12"	24"	34-1/2"						
BC-12	BMC2724	BASE MICROWAVE W/ DRAWER	27"	24"	34-1/2"						
BC-13	DB1224	BASE W/ 4 DRAWERS	12"	24"	34-1/2"						
BC-14	SB2424	VANITY SINK BASE	24"	24"	34-1/2"						
BC-15	B_*FWT3624	BASE W/ DOUBLE DOOR / FULL TRAY	36"	24"	34-1/2"						
PC-1	MSP242496	TALL PANTRY	24"	24"	96"						
PC-2	UC302496	UTILITY PANTRY	24"	24"	96"						
PC-3	PS242496	TALL PANTRY	24"	24"	96"						
PC-4	UC361296	UTILITY PANTRY	36"	12"	96"						
PC-5	UC241284	UTILITY PANTRY	24"	12"	84"						
RC-1	RTC392496	REFRIGERATOR PANTRY	39"	24"	96"						
W-1	W	WALL CABINET W/ 2 DOORS	30"	12"	42"						

- KEYNOTES**
- AND ISLAND LAYOUT IS CONCEPTUAL. ALL CABINET / MILLWORK MUST BE V.I.F. WITH EXISTING CONDITIONS AND NEW WORK. DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
  - PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEEL BEAM LOCATION.
  - 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
  - INDICATES CABINET DOOR SWING, TYP.
  - USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
  - 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
  - ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK BRACKET.
  - PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
  - SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
  - CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. BY CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
  - PLUMBING WALL
  - SEE 6/A-6.9 FOR WINDOW DETAIL.
  - WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
  - WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
  - WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
  - WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
  - PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
  - NEW FINISHED OAK, STAINED, TREAD / RISER.
  - METAL 1-1/2" CLOSET ROD.
  - PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
  - OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
  - CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL 3/4" (MIN.) THICKNESS, WITH PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS, ETC.
  - METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
  - DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
  - CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
  - SYSTEM BASE, PER MANUFACTURER.
  - EXISTING WINDOW / DOOR UNIT.
  - PROVIDE SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
  - NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
  - COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
  - TEMPERED, FRAMELESS GLASS SHOWER.
  - SEE 6/A-6.9 FOR WINDOW DETAILS.
  - NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS FOR REVIEW, OWNER APPROVAL.
  - PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
  - PTD. 1x
  - PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
  - PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING.
  - FINISHED WALL LINE BEHIND.
  - STAINED 1x
  - 1x BLOCKING.
  - PROVIDE BLOCKING FOR MILLWORK.
  - 1/2" PTD. GYP. BRD.
  - C.T., PROVIDE 1/2" BACKER BOARD.
  - GLASS TILE, PROVIDE 1/2" BACKER BOARD.
  - SCHEDULED CABINET.
  - SCHEDULED COUNTER-TOP.
  - EXISTING CONSTRUCTION.
  - STAIN GRADE 3/4" PLYWOOD.
  - PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.
  - 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
  - MID SPAN BLOCKING.
  - MITER MATERIAL @ CORNER.
  - STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.
  - PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
  - SOFTFORM SWR WALL REVEAL, OR EQUAL.
  - 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
  - PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.
  - PROVIDE (2) 2" PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
  - SEE COUNTER-TOP DETAIL 7/A-6.9
  - PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
  - SHELVING SYSTEM; IKEA - MODEL LUSJAL; 31-1/8" x 7-1/2"
  - PROVIDE FILLER PANEL TO MATCH MILLWORK.
  - CABINET END PANEL.
  - CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER STYLE, AND OPTIONS.
  - CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
  - SEE DETAIL 1/?? FOR SHOWER / SEAT DETAILS.
  - PROVIDE SEALANT
  - WALL SHELF; IKEA - MODEL LUSJAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
11313 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3333 WWW.RICHOSTELLEY.COM

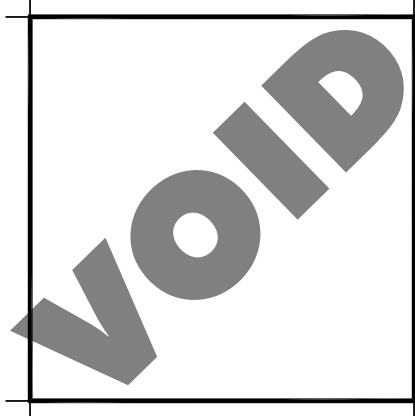
**FIRST FLOOR MILLWORK PLAN**

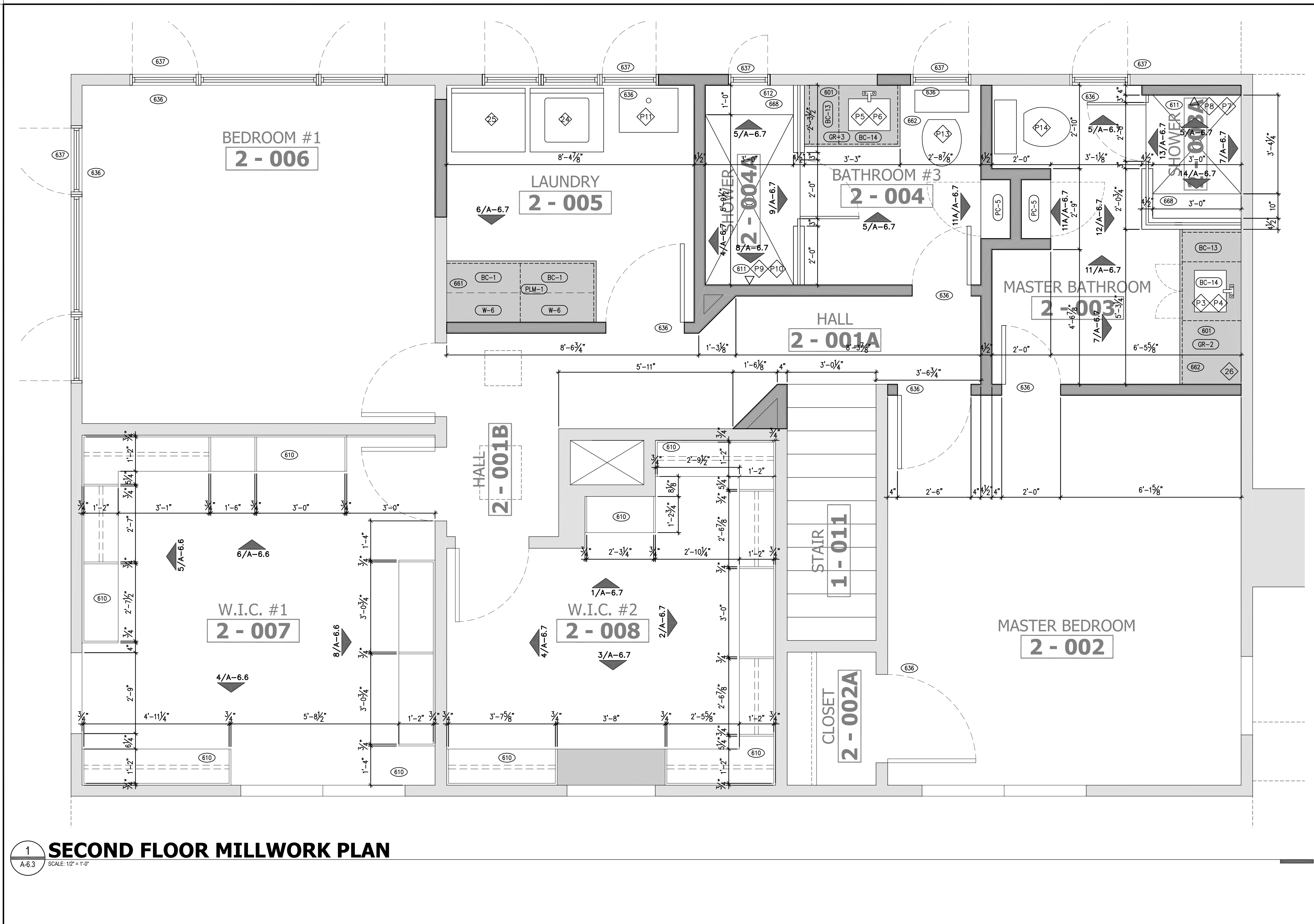
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ISSUE DATE	DESCRIPTION
08.23.2010	CLIENT SUBMISSION
09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DESCRIPTION

**A - 6.2**





**EQUIP. SCHEDULE**

NO.	LOCATION (RM NO.)	ITEM
1	OFFICE (B-002)	T.V.
2	OFFICE (B-002)	T.V. WALL MOUNT
3	OFFICE (B-002)	PRINTER
4	OFFICE (B-002)	COPIER
5	MECH ROOM (B-008A)	EXISTING FURN
6	MECH ROOM (B-008B)	EXISTING H.W.H.
7	MECH ROOM (B-008B)	EX'G WATER FILTER
8	OFFICE (B-002)	CABLE T.V. RECEIVER
9	EXERISE ROOM (B-007B)	T.V.
10	EXERISE ROOM (B-007B)	T.V. WALL MOUNT
11	OFFICE (B-002)	CABLE T.V. RECEIVER
12	FAMILY ROOM (1-003)	GAS FIREPLACE
13	FAMILY ROOM (1-003)	T.V.
14	FAMILY ROOM (1-003)	T.V. WALL MOUNT
15	FAMILY ROOM (1-003)	CABLE T.V. RECEIVER
16	ENTRY (1-001)	DOOR BUZZER
17	KITCHEN (1-008)	MICROWAVE
18	KITCHEN (1-008)	COOKTOP / OVEN
19	KITCHEN (1-008)	DISHWASHER
20	KITCHEN (1-008)	REFRIGERATOR
21	EX'G GARAGE (1-010)	REFRIGERATOR
22	KITCHEN (1-008)	RANGE HOOD

**PLUMBING SCHEDULE**

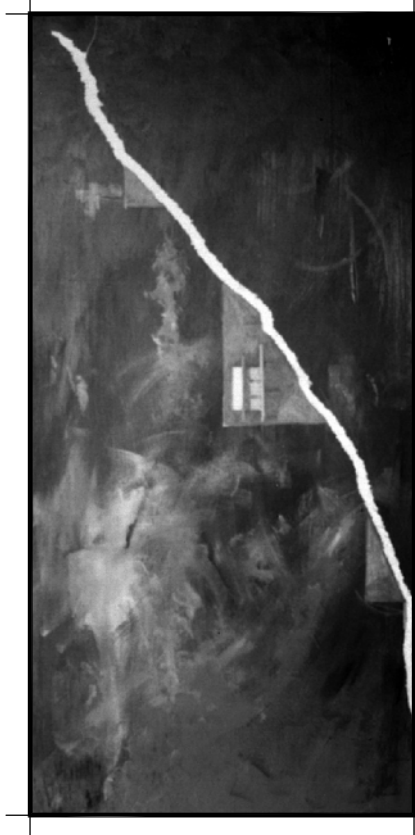
NO.	ITEM
P1	DOUBLE SINK
P2	PULLDOWN FAUCET
P3	SINK
P4	FAUCET
P5	SINK
P6	FAUCET
P7	CENTRAL THERMOSTAT
P8	SHOWERHEAD
P9	CENTRAL THERMOSTAT
P10	SHOWERHEAD
P11	RELOCATED UTILITY SINK
P12	RELOCATED TOILET
P13	RELOCATED TOILET

**CABINET SCHEDULE**

NO.	MANUFACTURER ID	TYPE	W	D	H
BC-1	B_*FWT3024	BASE W/ DBL DOOR W/ FULL TRAY	30"	24"	34-1/2"
BC-2	B_*FH2412	BASE W/ DBL DOOR	24"	12"	34-1/2"
BC-3	B_*FH3012	BASE W/ DBL DOOR	30"	12"	34-1/2"
BC-4	B_*2FWT2124	BASE DBL DOOR W/ 2 FULL TRAY	21"	24"	34-1/2"
BC-5	BPP924	BASE PANTRY PULLOUT	9"	24"	34-1/2"
BC-6	B924	BASE SINGLE DOOR W/ TRAY DIVIDER	9"	24"	34-1/2"
BC-7	B_*FH1812	BASE SINGLE DOOR	18"	12"	34-1/2"
BC-8	B_*4T3924	BASE DBL DOOR W/ 4 TRAYS	39"	24"	34-1/2"
BC-9	SBCC3627	SINK BASE W/ CLIPPED CORNERS	36"	27"	34-1/2"
BC-10	BWBT_*2*FH	TOP MOUNT WASTEBASKET FULL HGT.	15"	24"	34-1/2"
BC-11	BD_*3	BASE W/ 3 DRAWERS	12"	24"	34-1/2"
BC-12	BMC2724	BASE MICROWAVE W/ DRAWER	27"	24"	34-1/2"
BC-13	DB1224	BASE W/ 4 DRAWERS	12"	24"	34-1/2"
BC-14	SB2424	VANITY SINK BASE	24"	24"	34-1/2"
BC-15	B_*FWT3624	BASE W/ DOUBLE DOOR / FULL TRAY	36"	24"	34-1/2"
PC-1	MSP242496	TALL PANTRY	24"	24"	96"
PC-2	UC302496	UTILITY PANTRY	24"	24"	96"
PC-3	PS242496	TALL PANTRY	24"	24"	96"
PC-4	UC361296	UTILITY PANTRY	36"	12"	96"
PC-5	UC241284	UTILITY PANTRY	24"	12"	84"
RC-1	RTC392496	REFRIGERATOR PANTRY	39"	24"	96"
W-1	W	WALL CABINET W/ 2 DOORS	30"	12"	42"

**KEYNOTES**

- AND ISLAND LAYOUT IS CONCEPTUAL. ALL CABINET / MILLWORK MUST BE V.I.F. WITH EXISTING CONDITIONS AND NEW WORK. DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
- PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEEL BEAM LOCATION.
- 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
- INDICATES CABINET DOOR SWING, TYP.
- USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
- 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
- ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK BRACKET.
- PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
- SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
- CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. BY CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
- PLUMBING WALL
- SEE 6/A-6.9 FOR WINDOW DETAIL.
- WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
- WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
- WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
- WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
- PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
- NEW FINISHED OAK, STAINED, TREAD / RISER.
- METAL 1-1/2" CLOSET ROD.
- PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
- OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
- CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL 3/4" (MIN.) THICKNESS, WITH PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS, ETC.
- METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
- DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
- CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
- SYSTEM BASE, PER MANUFACTURER.
- EXISTING WINDOW / DOOR UNIT.
- PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
- NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
- COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
- TEMPERED, FRAMELESS GLASS SHOWER.
- SEE 6/A-6.9 FOR WINDOW DETAILS.
- NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
- PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
- PTD. 1x
- PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
- PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING.
- FINISHED WALL LINE BEHIND.
- STAINED 1x
- 1x BLOCKING.
- 2x BLOCKING.
- PROVIDE BLOCKING FOR MILLWORK.
- 1/2" PTD. GYP. BRD.
- C.T., PROVIDE 1/2" BACKER BOARD.
- GLASS TILE, PROVIDE 1/2" BACKER BOARD.
- SCHEDULED CABINET.
- SCHEDULED COUNTER-TOP.
- EXISTING CONSTRUCTION.
- STAIN GRADE 3/4" PLYWOOD.
- 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- MID SPAN BLOCKING.
- MITER MATERIAL @ CORNER.
- STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.
- PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
- SOFTFORM SWR WALL REVEAL, OR EQUAL.
- 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.
- PROVIDE (2) 2" PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
- SEE COUNTER-TOP DETAIL 7/A-6.9
- PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
- SHELVING SYSTEM; IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"
- PROVIDE FILLER PANEL TO MATCH MILLWORK.
- CABINET END PANEL.
- CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER STYLE, AND OPTIONS.
- CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
- SEE DETAIL 1/?? FOR SHOWER / SEAT DETAILS.
- PROVIDE SEALANT
- WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3333 WWW.RICHOSTELLEY.COM

**SECOND FLOOR MILLWORK PLAN**

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ISSUE DATE	DESCRIPTION
08.23.2010	CLIENT SUBMISSION
09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DESCRIPTION

VOID





**KEYNOTES**

- 601 AND ISLAND LAYOUT IS CONCEPTUAL. ALL CABINET / MILLWORK MUST BE V.I.F. WITH EXISTING CONDITIONS AND NEW WORK. DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
- 602 PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEEL BEAM LOCATION.
- 603 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
- 604 INDICATES CABINET DOOR SWING, TYP.
- 605 USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
- 606 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
- 607 ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK BRACKET.
- 608 PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
- 609 SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
- 610 CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. BY CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
- 611 PLUMBING WALL
- 612 SEE 6/A-6.9 FOR WINDOW DETAIL.
- 613 WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
- 614 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
- 615 WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
- 616 WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
- 617 PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
- 618 NEW FINISHED OAK, STAINED, TREAD / RISER.
- 619 METAL 1-1/2" CLOSET ROD.
- 620 PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
- 621 OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
- 622 CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL 3/4" (MIN.) THICKNESS, WITH PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS, ETC.
- 623 METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
- 624 DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
- 625 CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
- 626 SYSTEM BASE, PER MANUFACTURER.
- 627 EXISTING WINDOW / DOOR UNIT.
- 628 PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
- 629 NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
- 630 COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
- 631 TEMPERED, FRAMELESS GLASS SHOWER.
- 632 SEE 6/A-6.9 FOR WINDOW DETAILS.
- 633 NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
- 634 PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
- 635 PTD. 1x
- 636 PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
- 637 PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING.
- 638 FINISHED WALL LINE BEHIND.
- 639 STAINED 1x
- 640 SCHEDULED WALL, SEE WALL TYPE SCHEDULE.
- 641 1x BLOCKING.
- 642 2x BLOCKING.
- 643 PROVIDE BLOCKING FOR MILLWORK.
- 644 1/2" PTD. GYP. BRD.
- 645 C.T., PROVIDE 1/2" BACKER BOARD.
- 646 GLASS TILE, PROVIDE 1/2" BACKER BOARD.
- 647 SCHEDULED CABINET.
- 648 SCHEDULED COUNTER-TOP.
- 649 EXISTING CONSTRUCTION.
- 650 STAIN GRADE 3/4" PLYWOOD.
- 651 PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.
- 652 1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 653 MID SPAN BLOCKING.
- 654 MITER MATERIAL @ CORNER.
- 655 STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.
- 656 PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
- 657 SOFTFORM SWR WALL REVEAL, OR EQUAL.
- 658 1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
- 659 PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.
- 660 PROVIDE (2) 2" PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
- 661 SEE COUNTER-TOP DETAIL 7/A-6.9
- 662 PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
- 663 SHELVING SYSTEM; IKEA - MODEL LÅJSDAL; 31-1/8" x 7-1/2"
- 664 PROVIDE FILLER PANEL TO MATCH MILLWORK.
- 665 CABINET END PANEL.
- 666 CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER STYLE, AND OPTIONS.
- 667 CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
- 668 SEE DETAIL 9/?? FOR SHOWER / SEAT DETAILS.
- 669 PROVIDE SEALANT
- 670 WALL SHELF; IKEA - MODEL LÅJSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"



**BOWMAN-JACKSON RESIDENCE**  
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**RICHOSTELLEY**  
11318 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3338  
TEL: 703.688.8833 WWW.RICHOSTELLEY.COM

**INTERIOR ELEVATIONS**

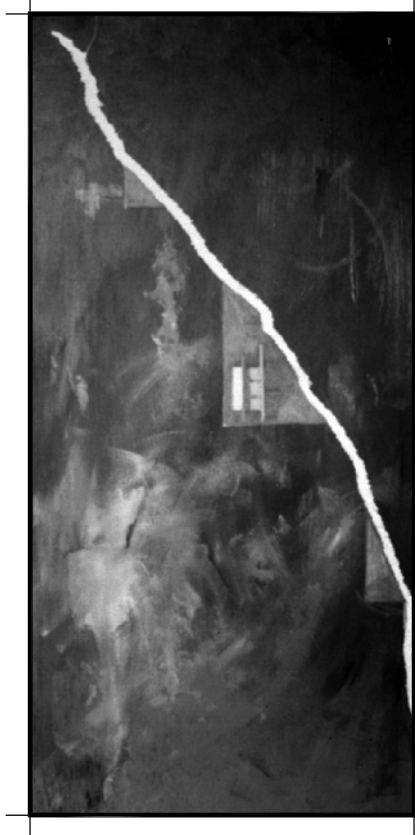
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  - PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEEL BEAM LOCATION.
  - 1" x 12" WHITE PRE-FINISHED WOOD SHELF.
  - INDICATES CABINET DOOR SWING, TYP.
  - USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
  - 12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
  - ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK BRACKET.
  - PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
  - SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
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  - PLUMBING WALL
  - SEE 6/A-6.9 FOR WINDOW DETAIL.
  - WALL BRACKET; IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
  - WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
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  - PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
  - NEW FINISHED OAK, STAINED, TREAD / RISER.
  - METAL 1-1/2" CLOSET ROD.
  - PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
  - OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
  - CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL 3/4" (MIN.) THICKNESS, WITH PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS, ETC.
  - METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
  - DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
  - CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
  - SYSTEM BASE, PER MANUFACTURER.
  - EXISTING WINDOW / DOOR UNIT.
  - PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
  - NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
  - COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
  - TEMPERED, FRAMELESS GLASS SHOWER.
  - SEE 6/A-6.9 FOR WINDOW DETAILS.
  - NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
  - PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
  - PTD. 1x
  - PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
  - PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING.
  - FINISHED WALL LINE BEHIND.
  - STAINED 1x
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  - PROVIDE BLOCKING FOR MILLWORK.
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  - C.T., PROVIDE 1/2" BACKER BOARD.
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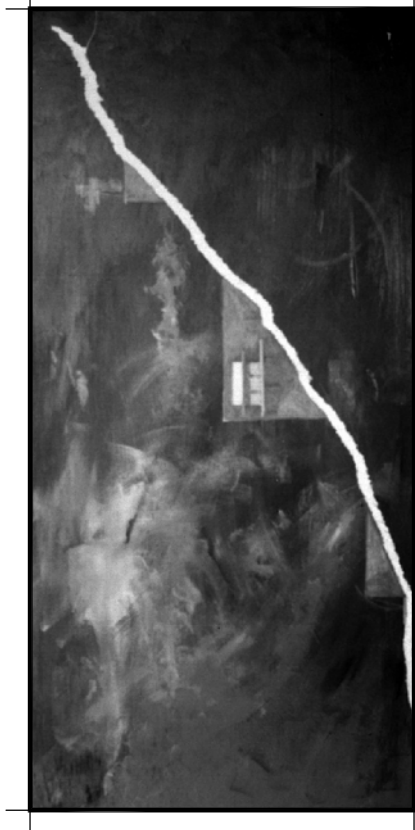
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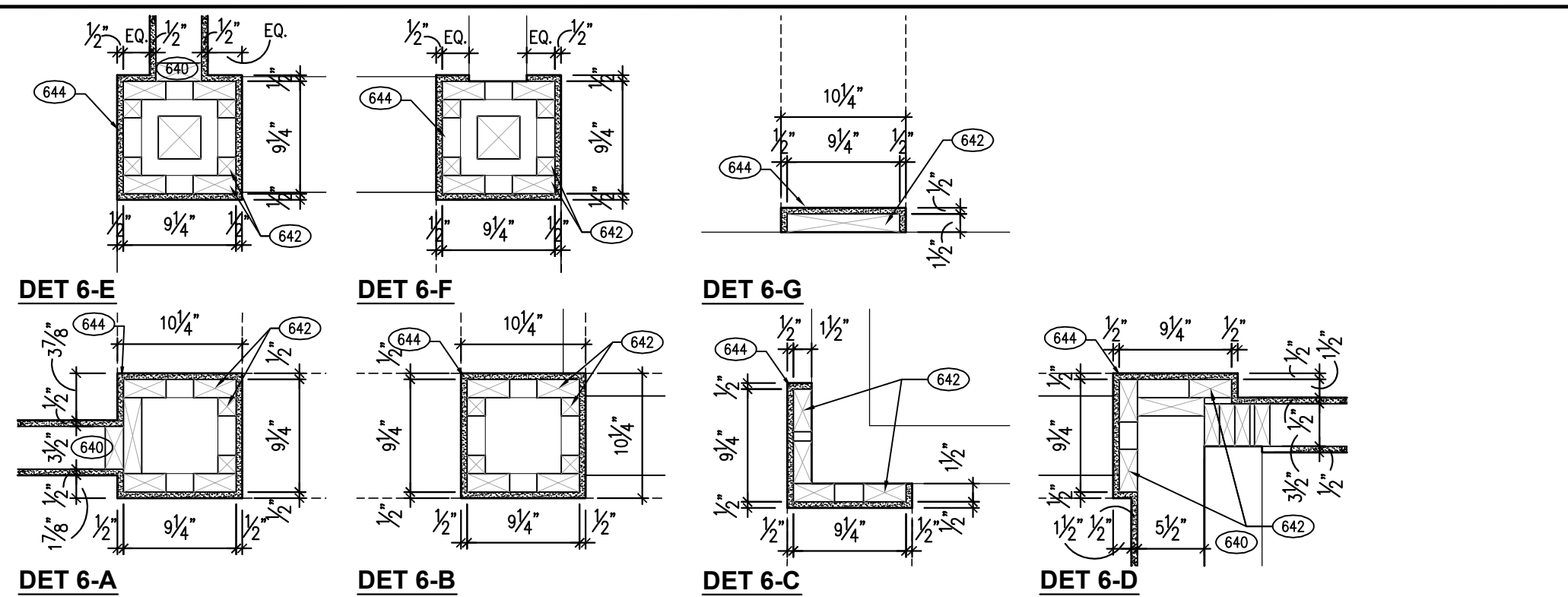
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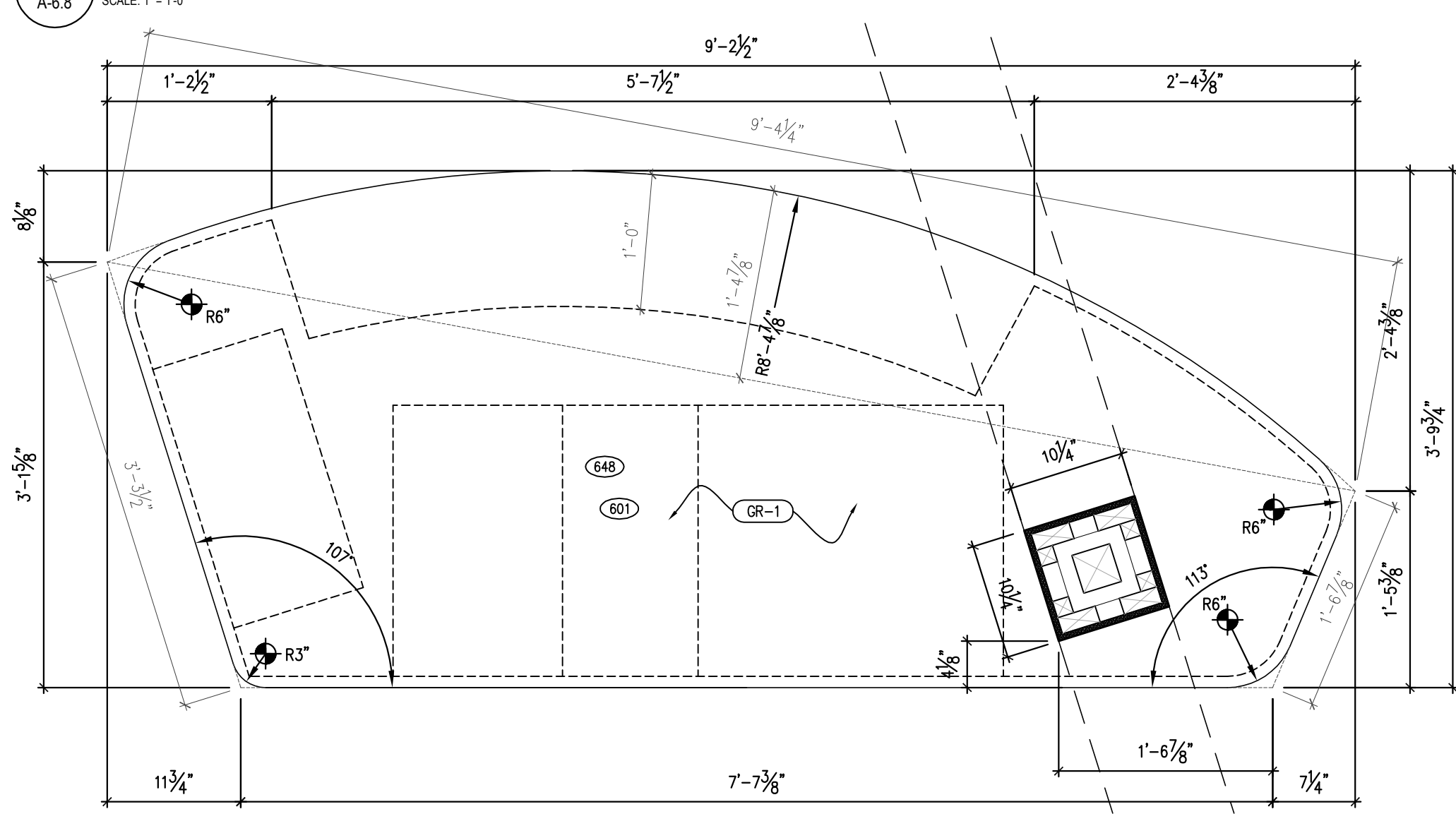
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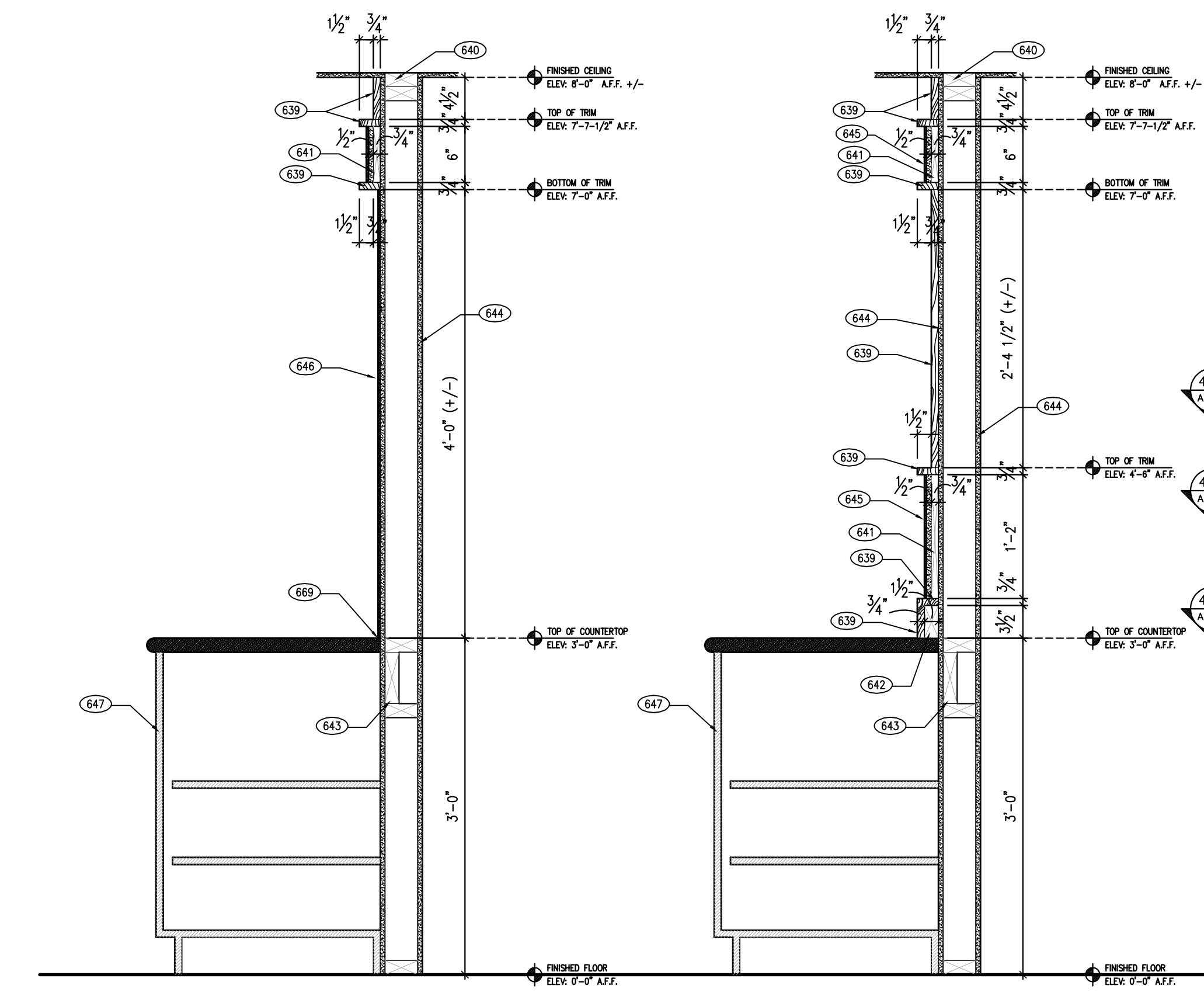
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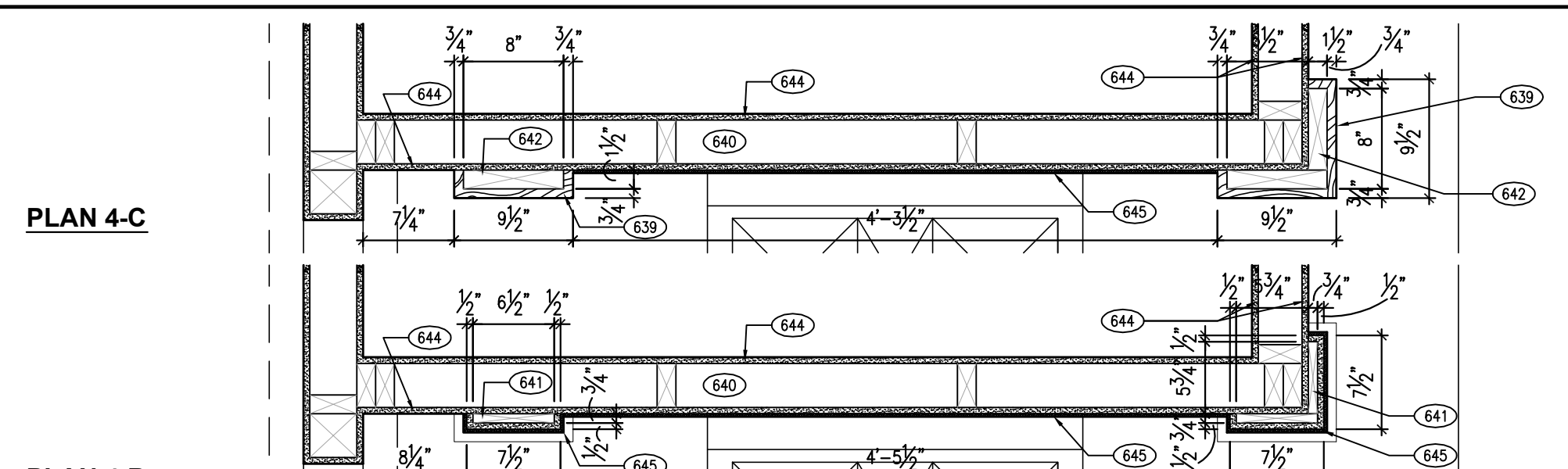
**6 COLUMN & PILASTER DETAILS**  
SCALE: 1" = 1'-0"



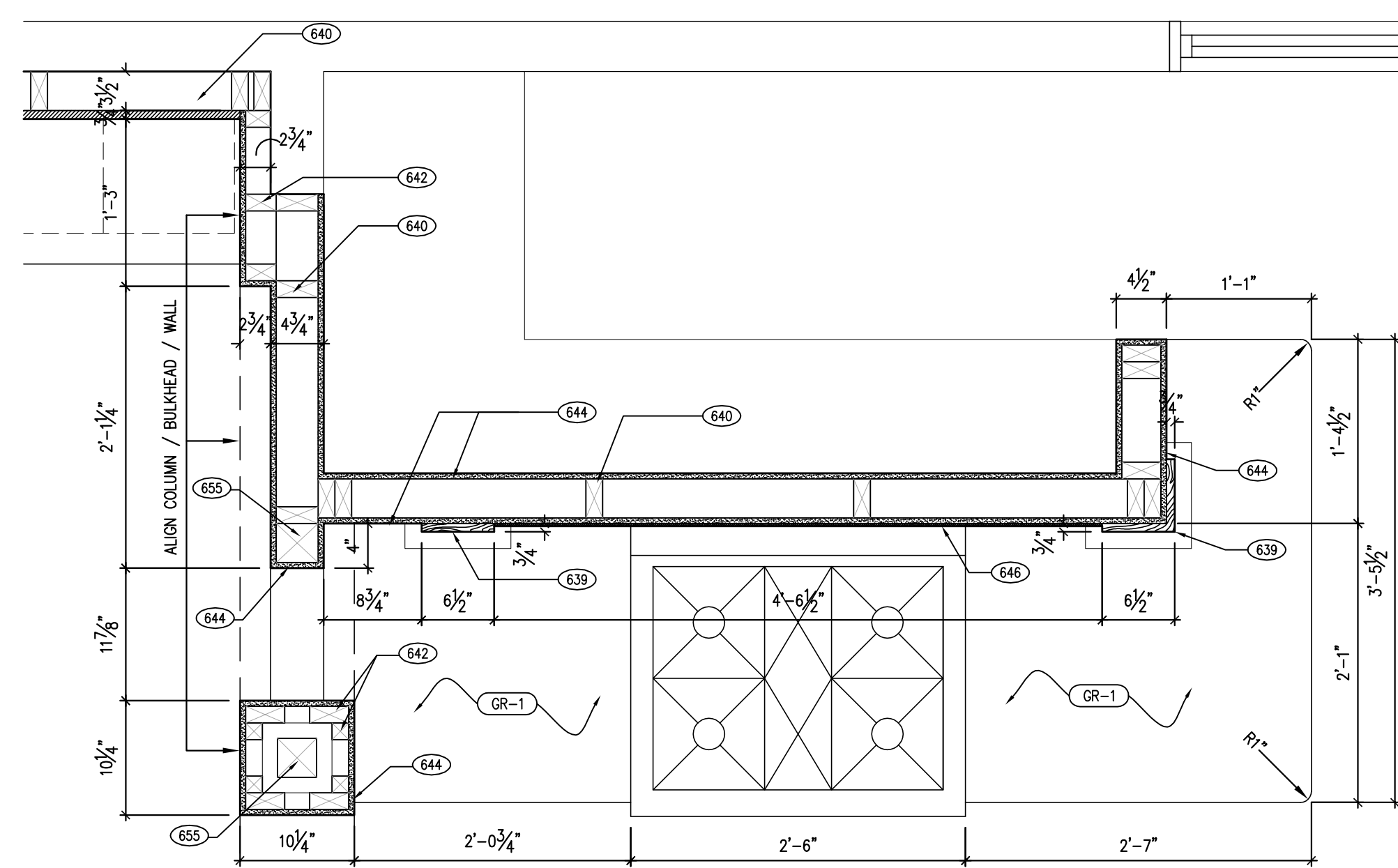
**5 ENLARGED PLAN DETAIL**  
SCALE: 1" = 1'-0"



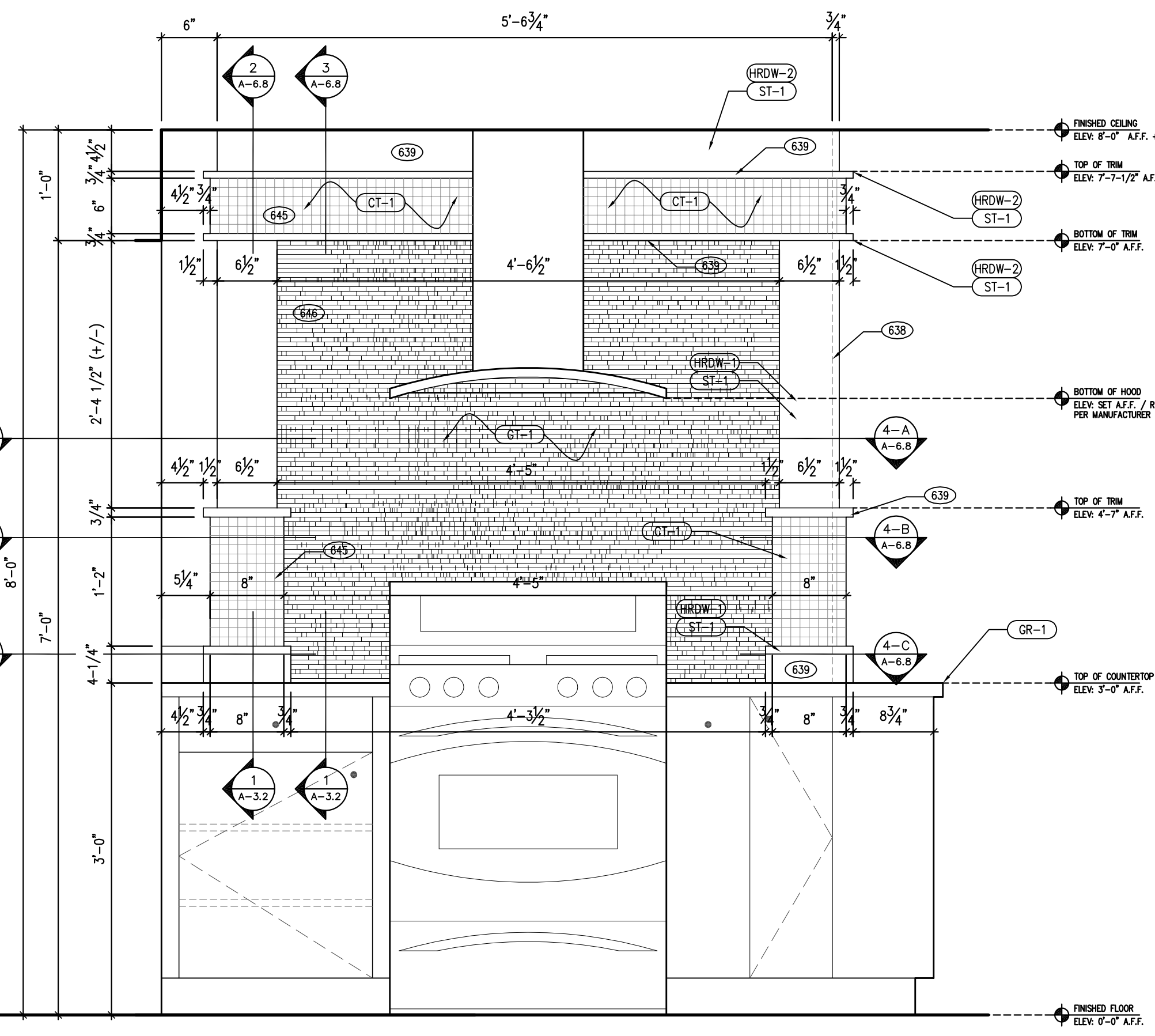
**3 MILLWORK SECTION** SCALE: 1" = 1'-0"  
**2 MILLWORK SECTION** SCALE: 1" = 1'-0"



**PLAN 4-C**  
**PLAN 4-B**

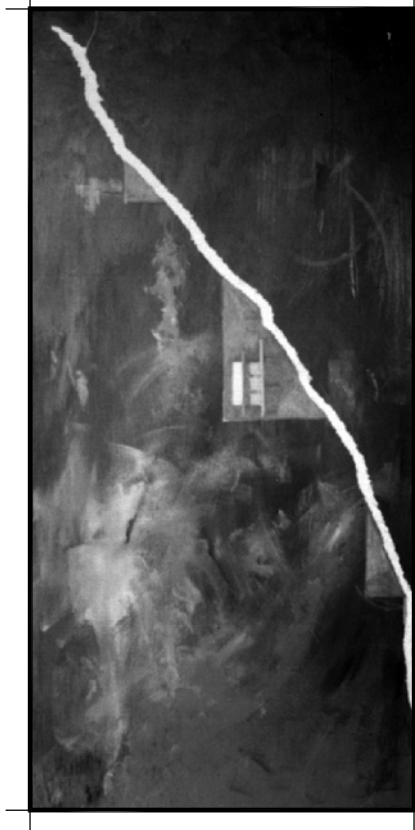


**PLAN 4-A**  
**4 ENLARGED PLAN DETAIL**  
SCALE: 1" = 1'-0"



**1 INTERIOR MILLWORK ELEVATION**  
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**BOWMAN-JACKSON RESIDENCE**  
14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
11318 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3333 WWW.RICHOSTELLEY.COM

**INTERIOR ELEVATIONS CONSTRUCTION DETAILS**

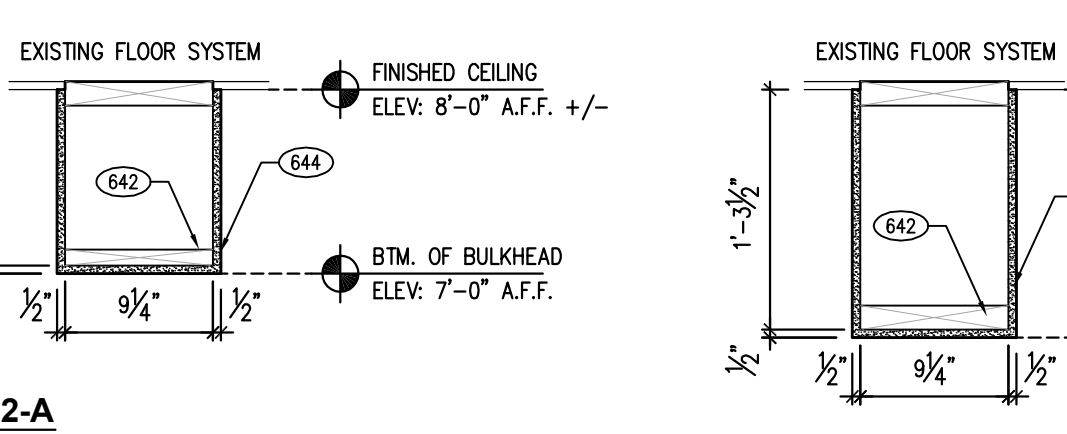
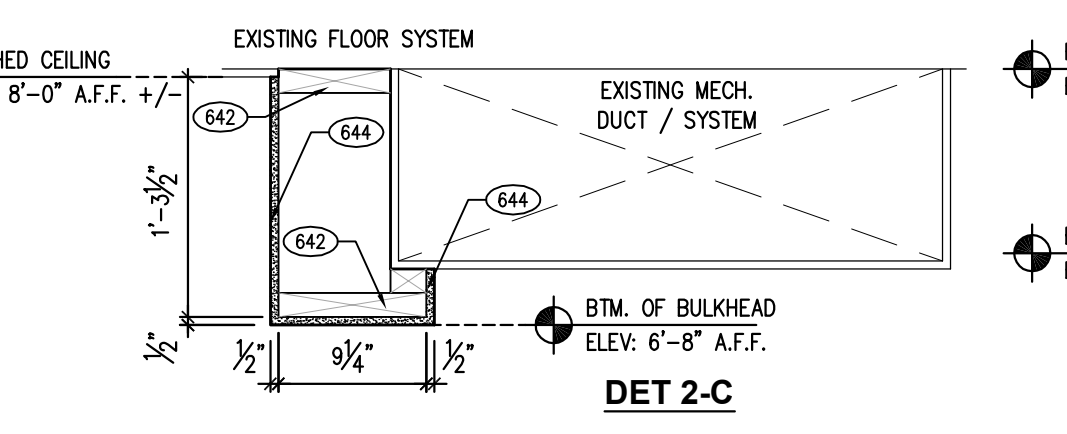
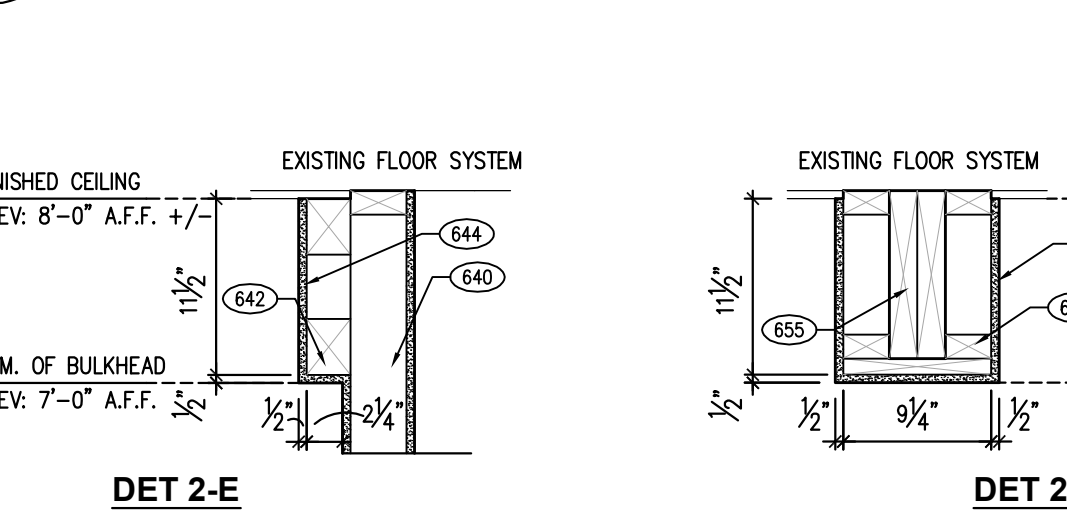
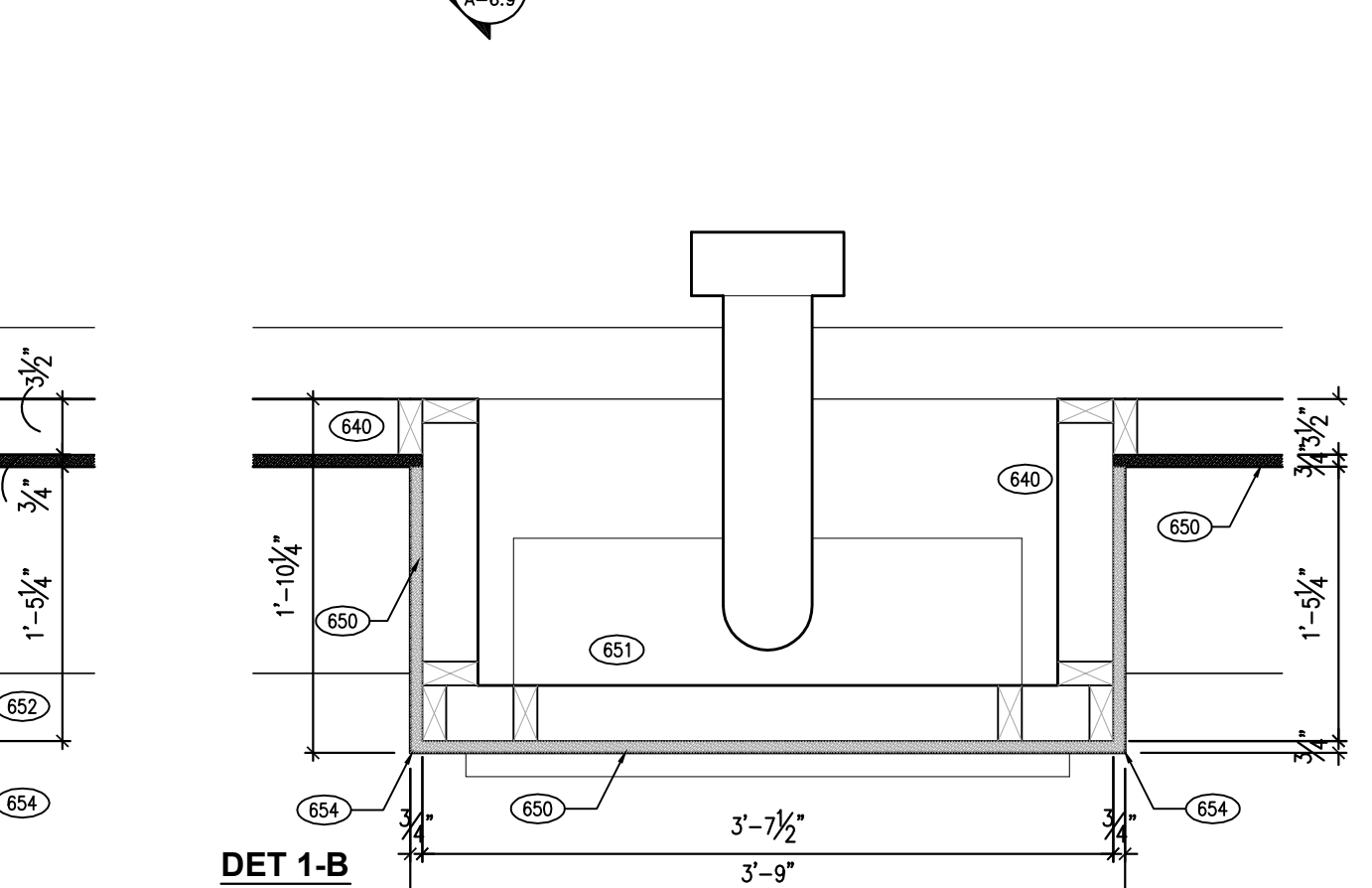
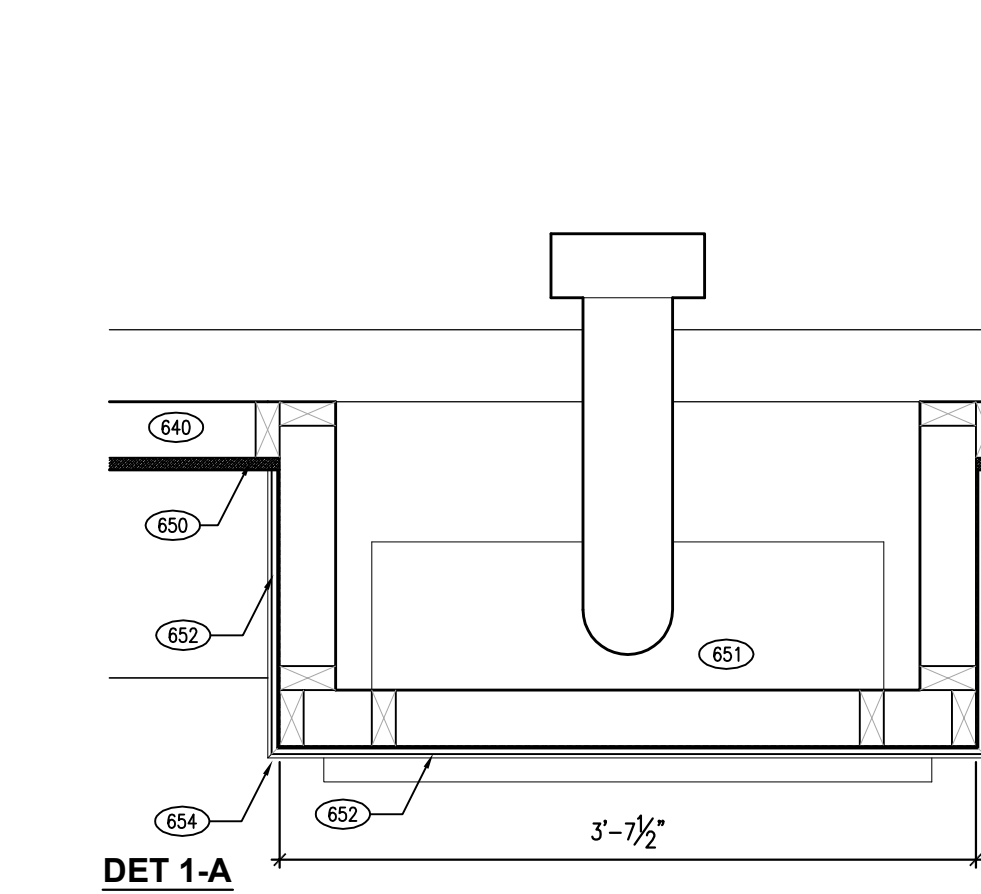
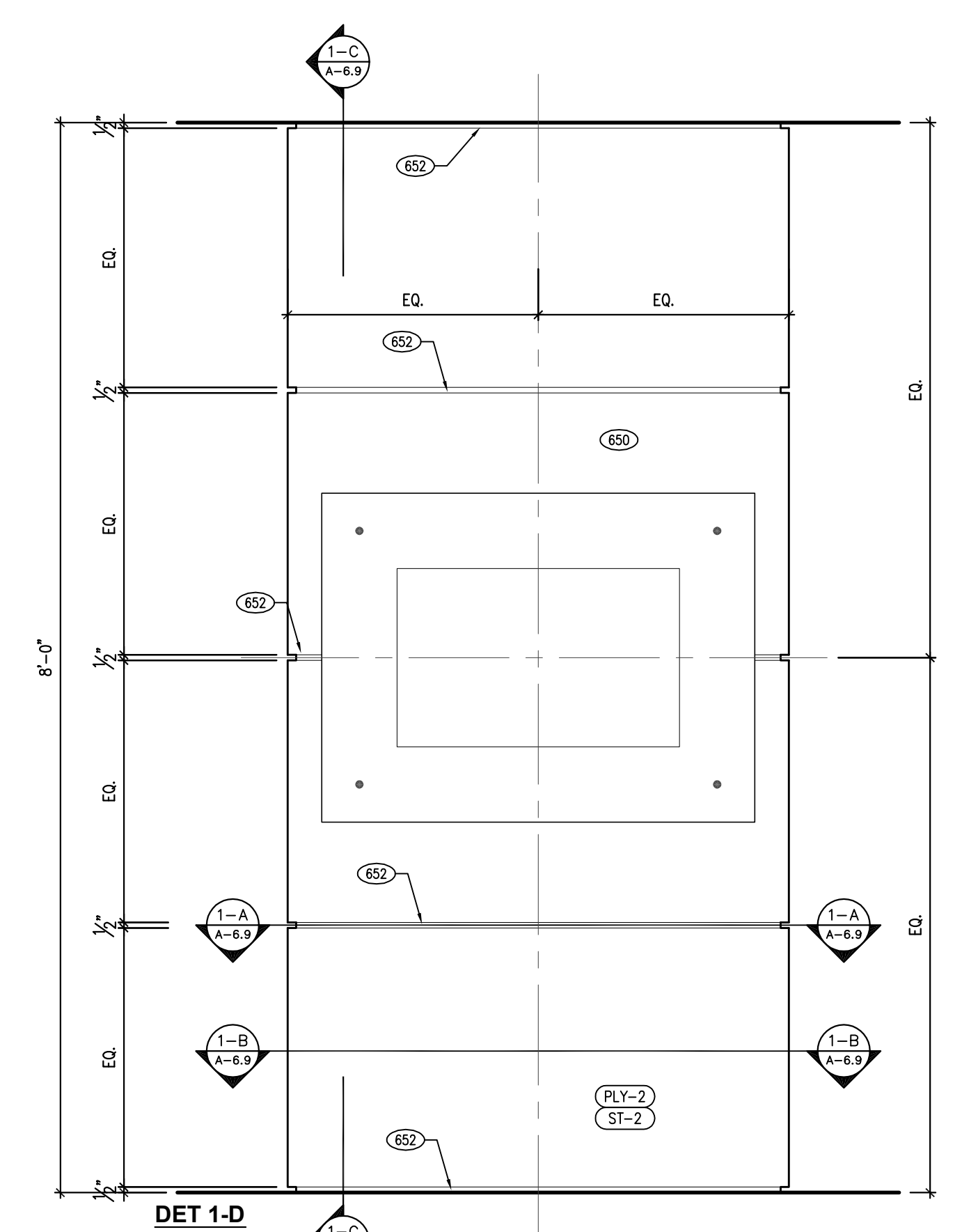
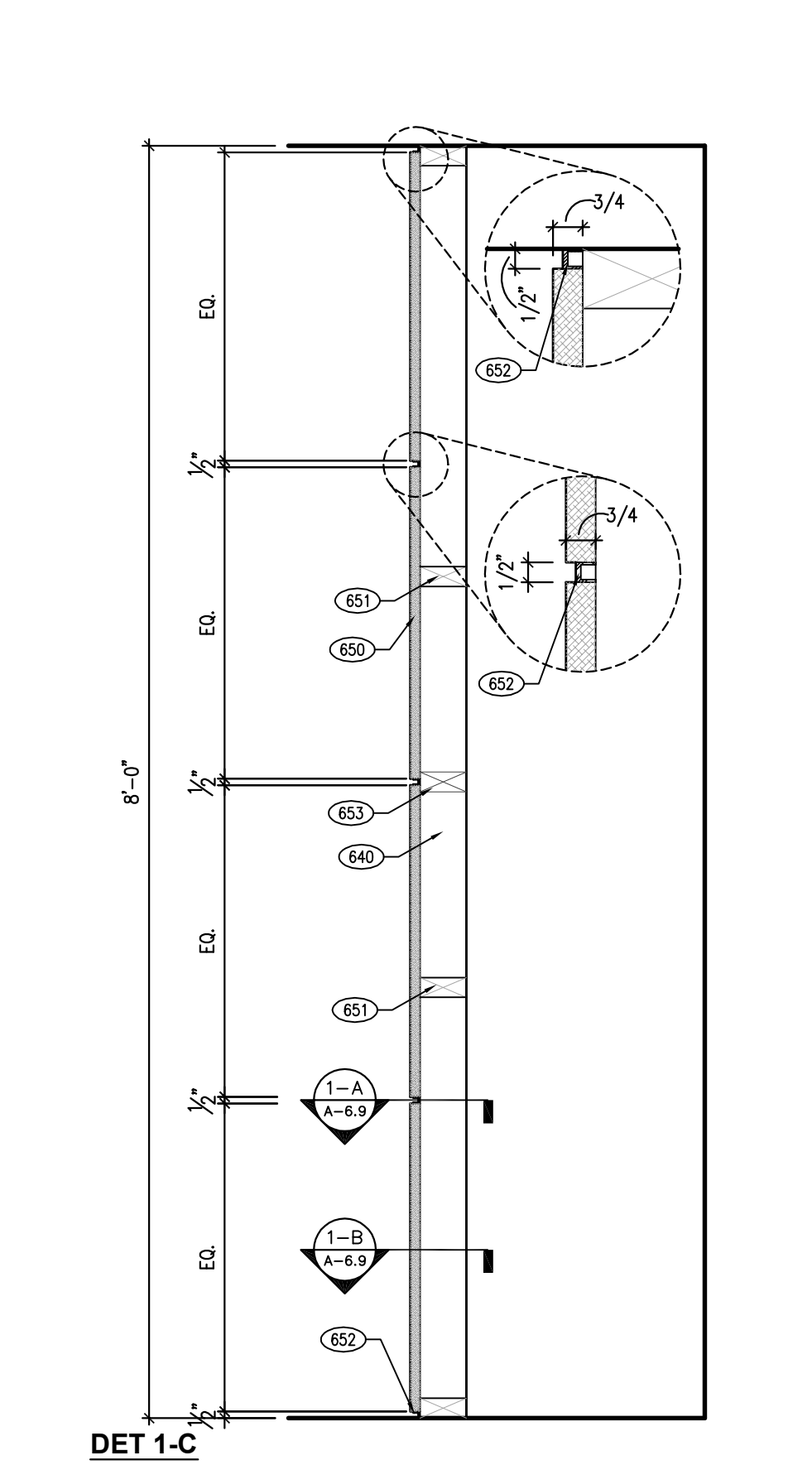
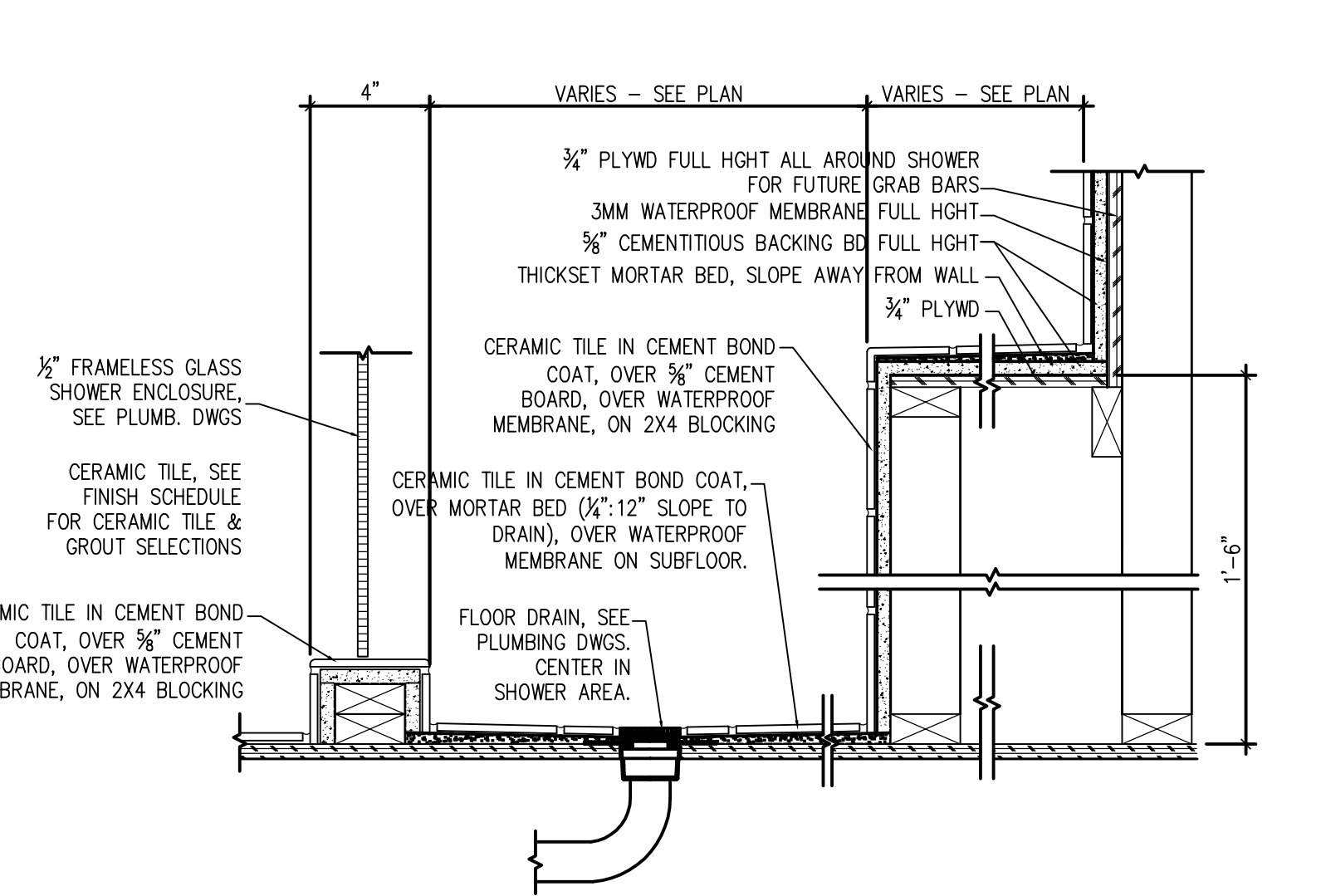
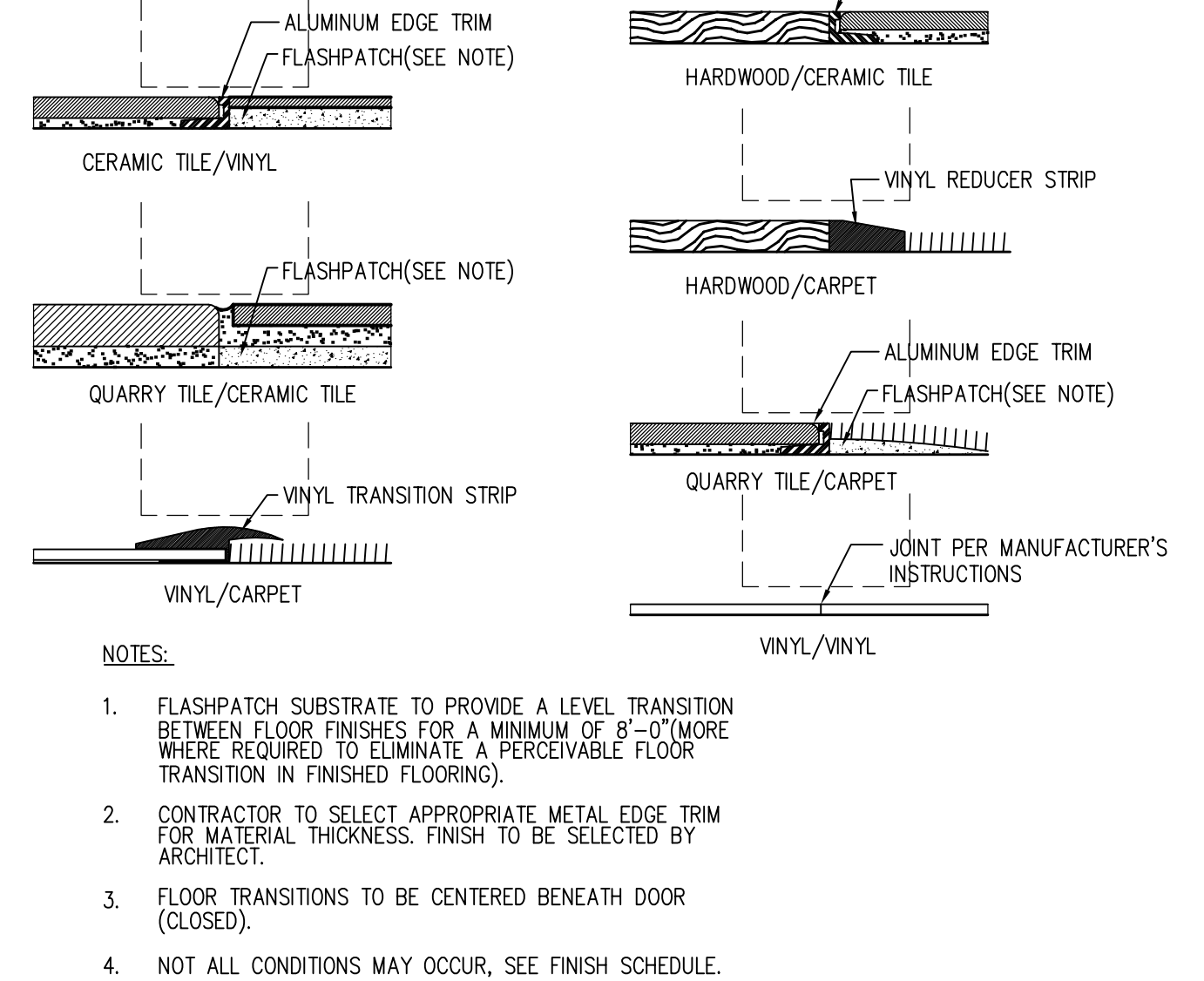
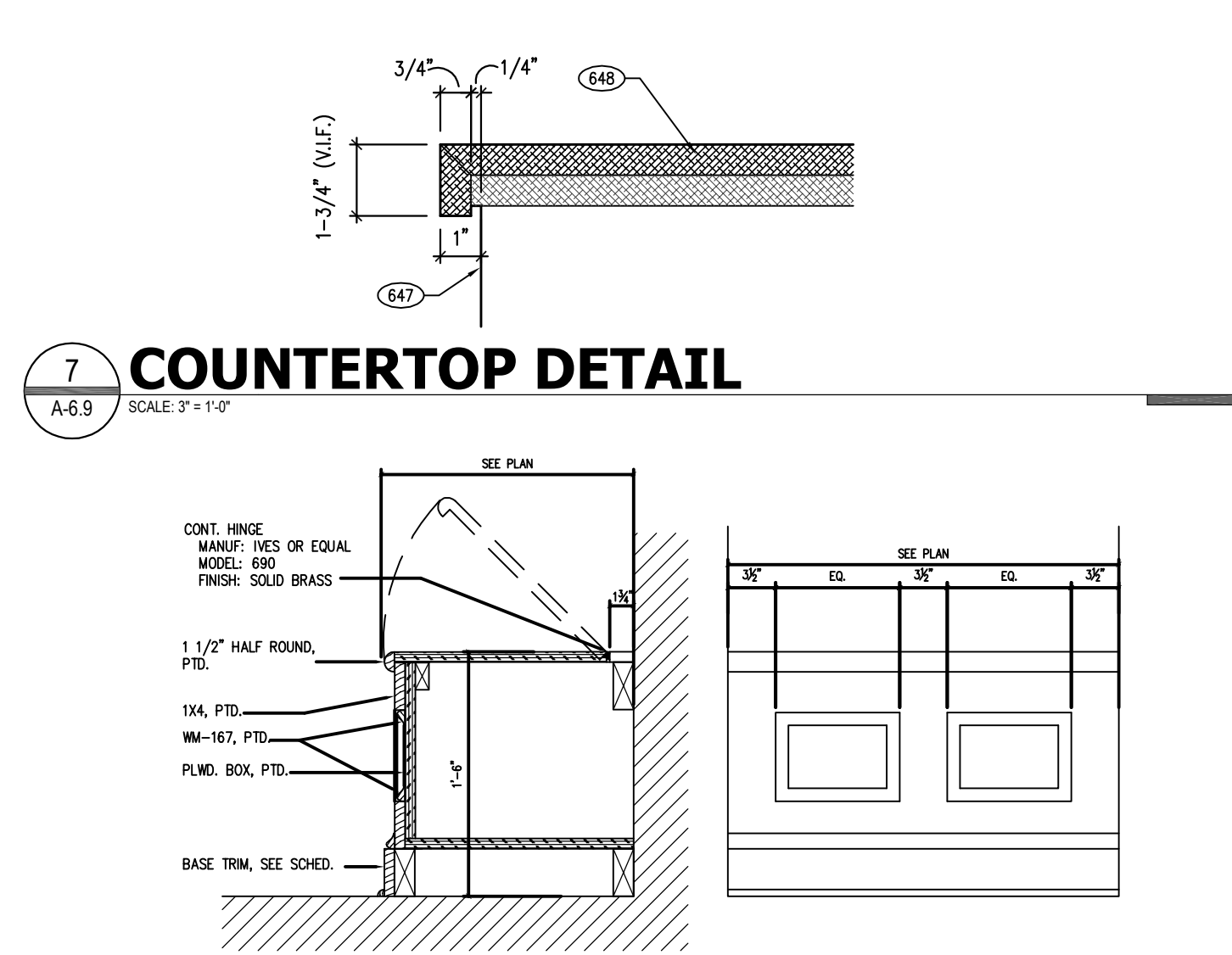
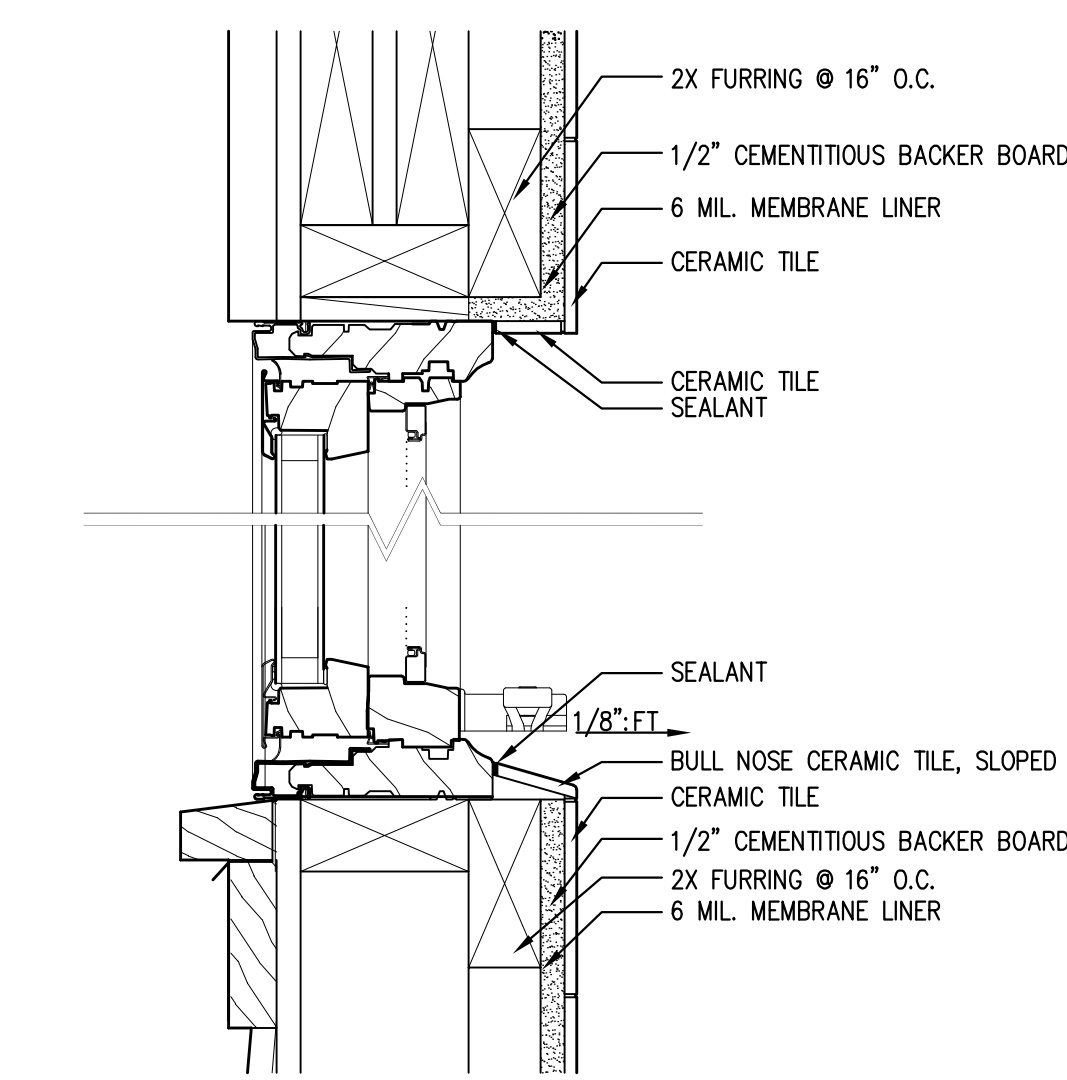
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08.23.2010	CLIENT SUBMISSION
09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DESCRIPTION

VOID

**A - 6.8**



KEYNOTES	
601	AND ISLAND LAYOUT IS CONCEPTUAL. ALL CABINET / MILLWORK MUST BE V.I.F. WITH EXISTING CONDITIONS AND NEW WORK. DESIGN INTENT PRIOR TO ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS.
602	PROVIDE 2X FRAMING / PTD. GYP. BRD. BULKHEAD AT EXISTING MECH DUCT / STEEL BEAM LOCATION.
603	1" x 12" WHITE PRE-FINISHED WOOD SHELF.
604	INDICATES CABINET DOOR SWING, TYP.
605	USE RELOCATED SHELF SYSTEM. PROVIDE NEW AS REQUIRED BY NEW WORK.
606	12" DEEP VENTILATED WIRE SHELF (CLOSETMAID MODEL #1701 OR EQUAL), WITH HEAVY DUTY SUPPORT.
607	ADJUSTABLE TWIN TRACK UPRIGHT SYSTEM - WHITE, WITH WHITE SHELF TRACK BRACKET.
608	PROVIDE NEW CLOSET ROD AND SHELF, SEE A3.1 FOR DETAILS.
609	SEE 5/A-6.9 FOR BENCH SEAT DETAILS.
610	CALIFORNIA CLOSET STYLE SYSTEM. SYSTEM INDICATED ON PLANS MUST BE V.I.F. BY CONTRACTOR / INSTALLER, PRIOR TO ORDERING, PURCHASING, INSTALLATION. PROVIDE CUT SHEETS / SPECS FOR ARCHITECT REVIEW, OWNER APPROVAL.
611	PLUMBING WALL
612	SEE 6/A-6.9 FOR WINDOW DETAIL.
613	WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 11". PROVIDE BLOCKING.
614	WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 46-7/8" x 11"
615	WALL BRACKET: IKEA - MODEL EKBY BJARNUM; 7". PROVIDE BLOCKING.
616	WALL SHELF; IKEA - MODEL EKBY JARPEN; BIRCH VENEER; 31-1/8" x 7-1/2"
617	PROVIDE BASE MOLDING TO MATCH EXISTING, AS REQUIRED @ NEW OR EXISTING LOCATIONS AS INDICATED.
618	NEW FINISHED OAK, STAINED, TREAD / RISER.
619	METAL 1-1/2" CLOSET ROD.
620	PROVIDE SOFTFORM EDGE TRIM, OR EQUAL, ST & STF SERIES.
621	OPEN ADJUSTABLE CALIFORNIA CLOSET TYPE SHELVING.
622	CALIFORNIA CLOSET TYPE SIDE / SUPPORT PANEL 3/4" (MIN.) THICKNESS, WITH PRE-DRILLED PEG HOLES (AND METAL PEGS) FOR ADJUSTABLE SHELVING, DRAWERS, ETC.
623	METAL CLOSET ROD, CALIFORNIA CLOSET STYLE.
624	DRAWER SYSTEM, CALIFORNIA CLOSET STYLE.
625	CABINET WITH ADJUSTABLE SHELF, CALIFORNIA CLOSET STYLE.
626	SYSTEM BASE, PER MANUFACTURER.
627	EXISTING WINDOW / DOOR UNIT.
628	PROVIDED SOFTFORM SWR-U SERIES WALL / TRIM REVEAL, @ EXISTING DOOR FRAME. REMOVE EXISTING TRIM MOLDING @ ENTRY SIDE ONLY, REPLACE WITH REVEAL.
629	NO PEG HOLES ON PANEL, FINISHED ROOM SIDE ONLY.
630	COORDINATE SIZE AND STYLE OF MIRROR WITH OWNER.
631	TEMPERED, FRAMELESS GLASS SHOWER.
632	SEE 6/A-6.9 FOR WINDOW DETAILS.
633	NICKEL PLATED SHOWER HARDWARE. CONTRACTOR TO SUBMIT TO ARCHITECT CUT SHEET / SPECS / SAMPLES FOR REVIEW, OWNER APPROVAL.
634	PROVIDE 2x CONTINUOUS BLOCKING / FRAMING.
635	PTD. 1x
636	PROVIDE DOOR / WINDOW TRIM, TO MATCH EXISTING.
637	PROVIDE EXTERIOR DOOR / WINDOW TRIM, FLASHING, DRIP-EDGE, TO MATCH EXISTING.
638	FINISHED WALL LINE BEHIND.
639	STAINED 1x
640	SCHEDULED WALL, SEE WALL TYPE SCHEDULE.
641	1x BLOCKING.
642	2x BLOCKING.
643	PROVIDE BLOCKING FOR MILLWORK.
644	1/2" PTD. GYP. BRD.
645	C.T., PROVIDE 1/2" BACKER BOARD.
646	GLASS TILE, PROVIDE 1/2" BACKER BOARD.
647	SCHEDULED CABINET.
648	SCHEDULED COUNTER-TOP.
649	EXISTING CONSTRUCTION.
650	STAIN GRADE 3/4" PLYWOOD.
651	PROVIDE BLOCKING/SUPPORT FOR FIREPLACE PER FIREPLACE MANUFACTURER SPECS.
652	1/2" x 5/8" ANODIZED ALUMINUM CHANNEL, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
653	MID SPAN BLOCKING.
654	MITER MATERIAL @ CORNER.
655	STRUCTURAL COLUMN / BEARING. SEE STRUCTURAL DRAWINGS.
656	PROVIDE SOFTFORM WALL / TRIM SWR-U SERIES REVEAL, OR EQUAL.
657	SOFTFORM SWR WALL REVEAL, OR EQUAL.
658	1/4" x 5/8" BOX ANODIZED ALUMINUM SQUARE BAR, ATTACHED TO PLYWOOD / FRAMING SYSTEM WITH CONCEALED FASTENERS.
659	PROVIDE BLOCKING / OPENING FOR T.V. BRACKET. REF TO MANUFACTURER SPECS.
660	PROVIDE (2) 2" PIPE, WITH PULL STRING, FOR T.V. POWER / DATA.
661	SEE COUNTER-TOP DETAIL 7/A-6.9
662	PROVIDE QUARTER ROUND @ COUNTER-TOP, TOP / BOTTOM OF SURFACE. SEE DETAIL 8/A-6.9
663	SHELVING SYSTEM: IKEA - MODEL LJUSDAL; 31-1/8" x 7-1/2"
664	PROVIDE FILLER PANEL TO MATCH MILLWORK.
665	CABINET END PANEL.
666	CONTRACTOR TO V.I.F. ALL CLOSET DIMENSIONS BEFORE, ORDERING, PURCHASING, AND INSTALLATION. CONTACT ARCHITECT WITH CONFLICTS. COORDINATE WITH OWNER STYLE, AND OPTIONS.
667	CONTRACTOR TO V.I.F. ALL PLUMBING FIXTURE VERTICAL HEIGHTS WITH MANUFACTURER SPECS.
668	SEE DETAIL 1/??? FOR SHOWER / SEAT DETAILS.
669	PROVIDE SEALANT
670	WALL SHELF; IKEA - MODEL LJUSDAL; TEMPERED GLASS; 31-1/8" x 7-1/2"

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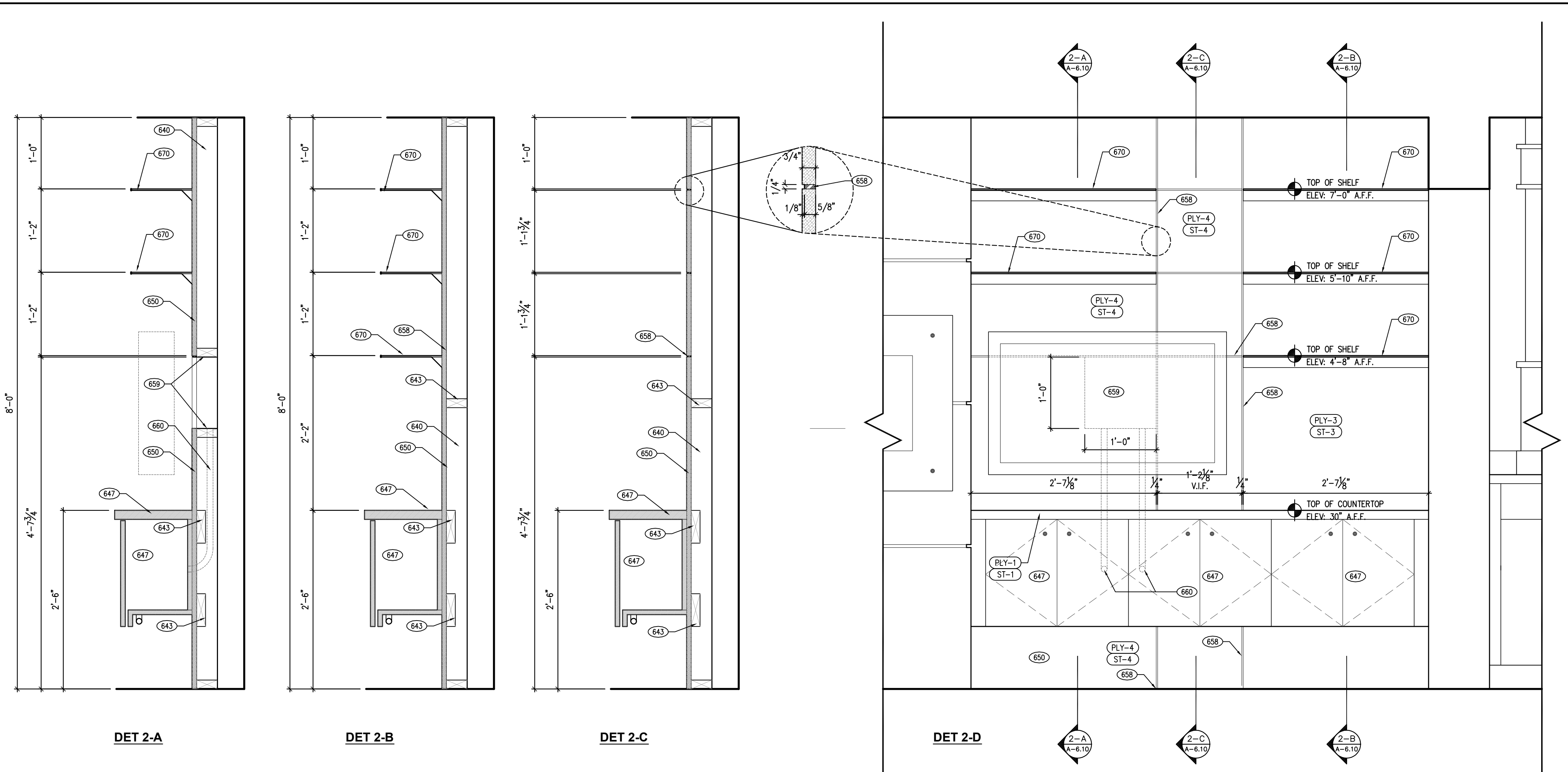
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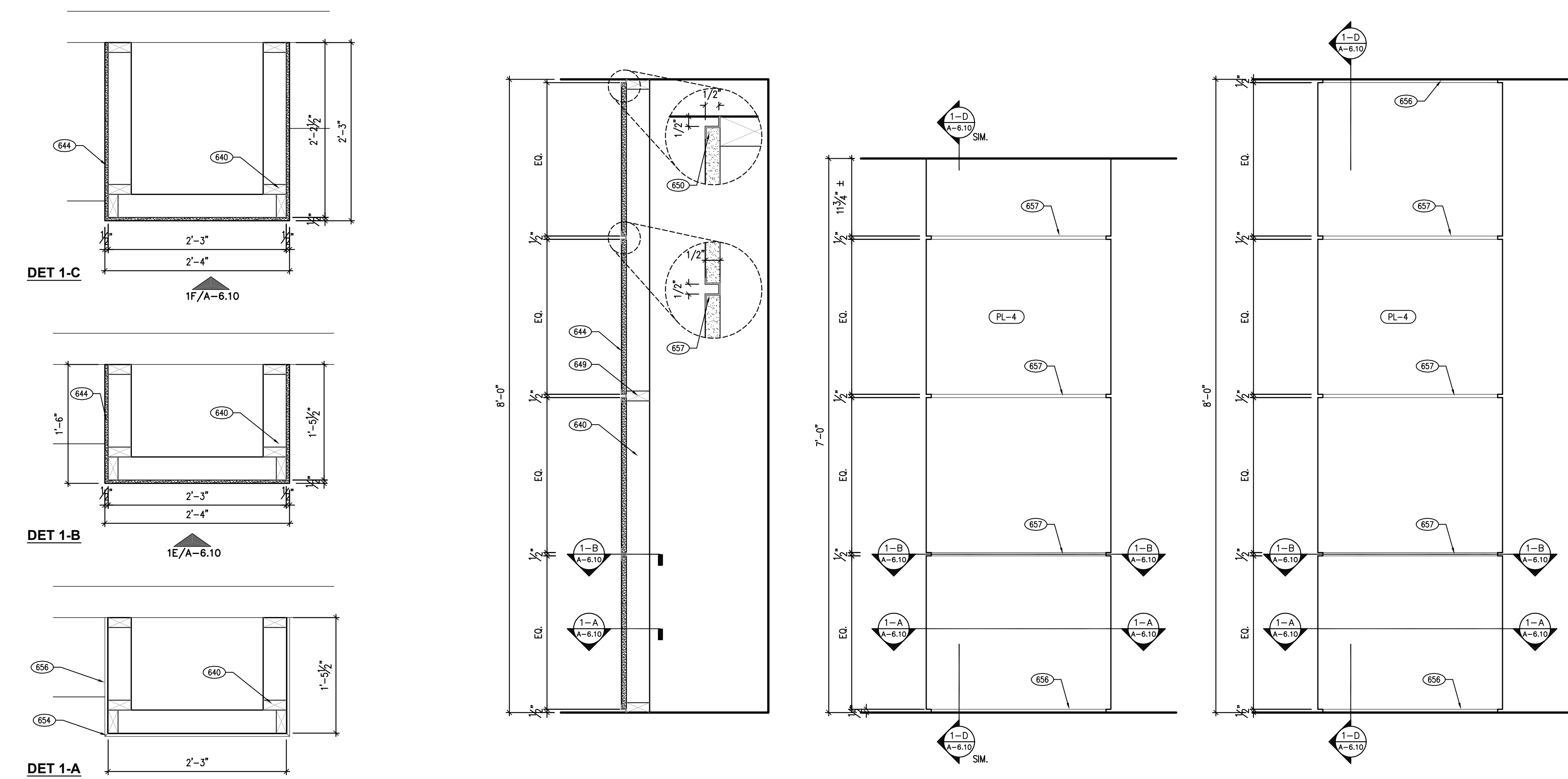
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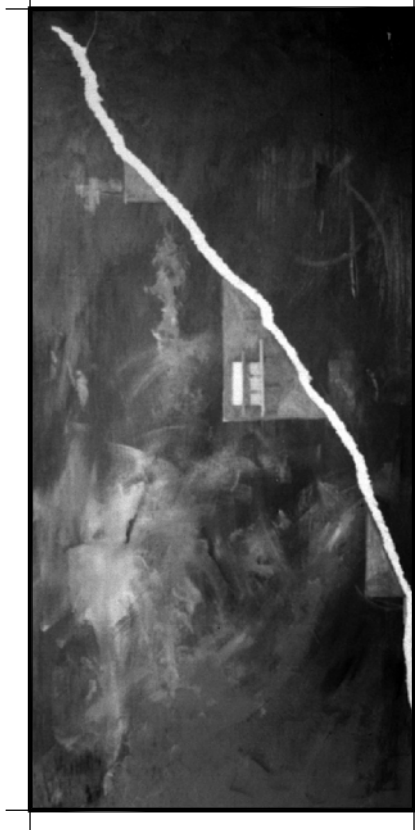


**2 ENTERTAINMENT WALL DETAILS**  
SCALE: 1" = 1'-0"



**1 OFFICE COLUMN DETAILS**  
SCALE: 1" = 1'-0"

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668	SEE DETAIL 9/?? FOR SHOWER / SEAT DETAILS.
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14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304-3038 555-333-3333 WWW.RICHOSTELLEY.COM

**INTERIOR ELEVATIONS CONSTRUCTION DETAILS**

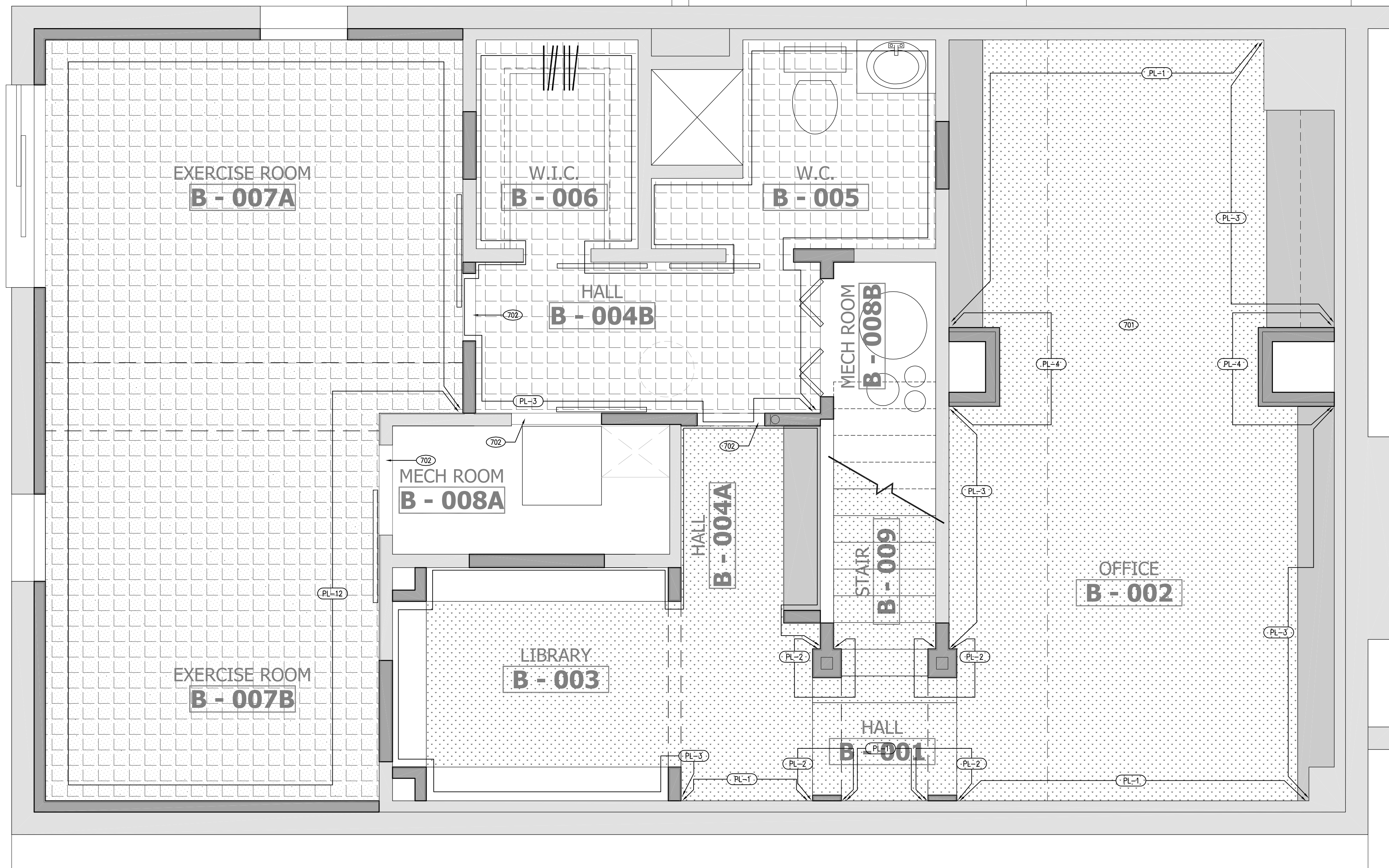
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08.23.2010	CLIENT SUBMISSION
09.30.2010	100% CD / BID SUBMISSION

REVISION DATE	DESCRIPTION

VOID

**A - 6.10**



**1 BASEMENT FINISH PLAN**  
A-7.1 SCALE: 1/2" = 1'-0"

**MATERIAL SCHEDULE**

MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS
EXG-1	EXISTING		PL-8	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-1	VINYL COMPOSITE TILE	T.B.D.	T-1	WOOD TRIM	MATCH EXISTING
HWF-1	HARDWOOD FLOORING	T&G SELECT CHERRY STRIP FLOORING	PL-9	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-2	VINYL COMPOSITE TILE	T.B.D.	WB-1	WOOD BASE TRIM	MATCH EXISTING
HWF-2	EXISTING HARDWOOD FLOORING	REFINISH EXISTING HWF.	PL-10	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-3	VINYL COMPOSITE TILE	T.B.D.	CT-1	CERAMIC TILE	T.B.D.
			PL-11	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-4	VINYL COMPOSITE TILE	T.B.D.	CT-2	CERAMIC TILE	T.B.D.
P-1	PAINT	DRY-LOK, 1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-12	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-1	WOOD BASE STAIN	COLOR: NATURAL 209	CT-3	CERAMIC TILE	T.B.D.
PL-1	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-13	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-2	WOOD BASE STAIN	COLOR: GOLDEN OAK 210B	GT-1	GLASS TILE	T.B.D.
PL-2	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-14	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-3	WOOD BASE STAIN	COLOR: EBONY 271B	GT-1	GLASS TILE	T.B.D.
PL-3	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-15	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-4	WOOD BASE STAIN	COLOR: RED OAK 215	GT-2	GLASS TILE	T.B.D.
PL-4	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	P0-1	QUALKYD SEMI GLOSS FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	PLY-1	STAIN GRADE PLYWOOD	SPECIES: MAPLE	GT-3	GLASS TILE	T.B.D.
PL-5	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	CPT-1	CARPET	T.B.D.	PLY-2	STAIN GRADE PLYWOOD	SPECIES: BEECH	QT-1	QUARRY TILE	T.B.D.
PL-6	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	CPT-2	CARPET	T.B.D.	PLY-3	STAIN GRADE PLYWOOD	SPECIES: OAK	QT-2	QUARRY TILE	T.B.D.
PL-7	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	CPT-3	CARPET	T.B.D.	HRWD-1	STAIN GRADE HARDWOOD	SPECIES: MAPLE	QT-3	QUARRY TILE	T.B.D.

**LEGEND**

	CPT-1
	CPT-2
	CPT-3
	VCT-1
	VCT-2
	VCT-3
	VCT-4
	HWF-1
	QT-1
	QT-2

**KEYNOTES**

- 701 SAMPLES FOR ARCHITECT REVIEW, OWNER APPROVAL, PRIOR TO ORDERING, PURCHASING, INSTALLING. CONTRACTOR TO REVIEW ALL MATERIAL SCHEDULES, MILLWORK AND FINISH PLANS. CONTACT ARCHITECT WITH CONFLICTS WITH DESIGN INTENT.
- 702 PROVIDE TRANSITION STRIP, SEE DETAIL 4/A-6.9
- 703 WOOD TRANSITION STRIP TO MATCH NEW HWF.
- 704 DIRECTION OF HWF.



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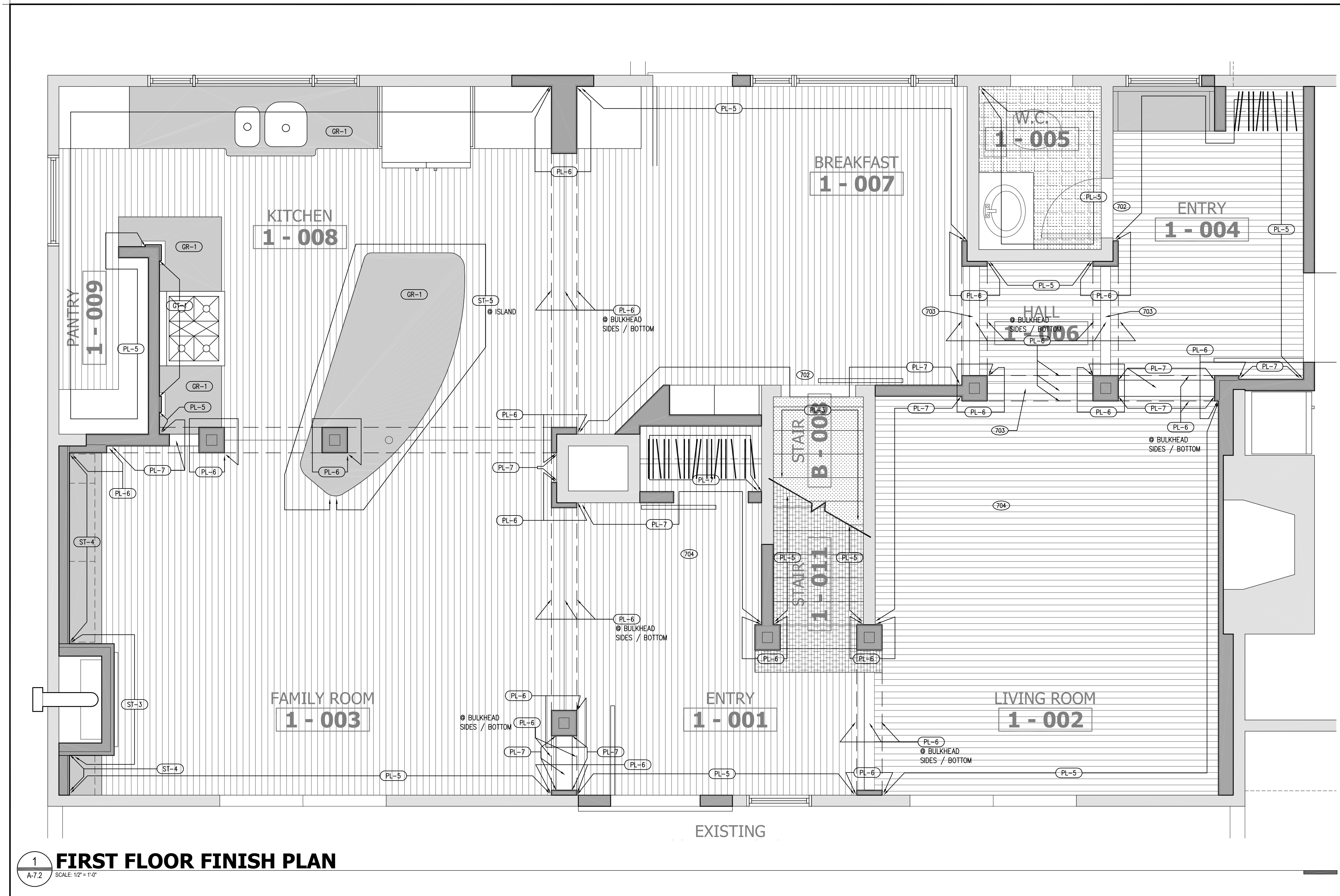
**BASEMENT FINISH PLAN**

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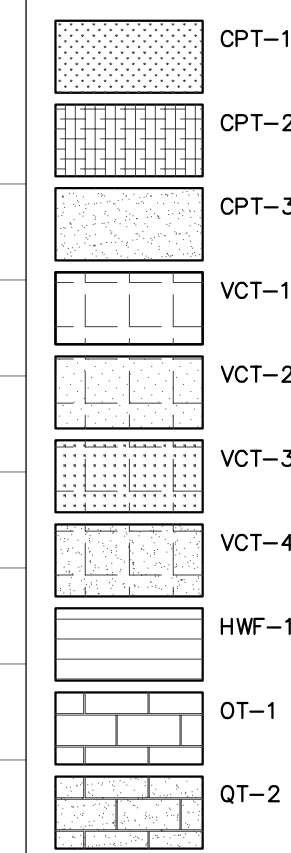
**A - 7.1**



**1 FIRST FLOOR FINISH PLAN**  
A-7.2 SCALE: 1/2" = 1'-0"

MATERIAL SCHEDULE			MATERIAL SCHEDULE			MATERIAL SCHEDULE			MATERIAL SCHEDULE		
MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS
EXG-1	EXISTING		PL-8	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-1	VINYL COMPOSITE TILE	T.B.D.	T-1	WOOD TRIM	MATCH EXISTING
HWF-1	HARDWOOD FLOORING	T&G SELECT CHERRY STRIP FLOORING	PL-9	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-2	VINYL COMPOSITE TILE	T.B.D.	WB-1	WOOD BASE TRIM	MATCH EXISTING
HWF-2	EXISTING HARDWOOD FLOORING	REFINISH EXISTING HWF.	PL-10	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-3	VINYL COMPOSITE TILE	T.B.D.	CT-1	CERAMIC TILE	T.B.D.
P-1	PAINT	DRY-LOK, 1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-11	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-4	VINYL COMPOSITE TILE	T.B.D.	CT-2	CERAMIC TILE	T.B.D.
PL-1	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-12	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-1	WOOD BASE STAIN	COLOR: NATURAL 209 MANF ID:	CT-3	CERAMIC TILE	T.B.D.
PL-2	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-13	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-2	WOOD BASE STAIN	COLOR: GOLDEN OAK 210B MANF ID:	GT-1	GLASS TILE	T.B.D.
PL-3	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-14	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-3	WOOD BASE STAIN	COLOR: EBONY 271B MANF ID:	GT-1	GLASS TILE	T.B.D.
PL-4	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	PL-15	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-4	WOOD BASE STAIN	COLOR: RED OAK 215 MANF ID:	GT-2	GLASS TILE	T.B.D.
PL-5	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D.	P0-1	OLIALKYD SEMI GLOSS FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	PLY-1	STAIN GRADE PLYWOOD	SPECIES: MAPLE	GT-3	GLASS TILE	T.B.D.
PL-6	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	CPT-1	CARPET	T.B.D.	PLY-2	STAIN GRADE PLYWOOD	SPECIES: BEECH	QT-1	QUARRY TILE	T.B.D.
PL-7	LATEX FINISH PAINT	1 COAT PRIMAR & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	CPT-2	CARPET	T.B.D.	PLY-3	STAIN GRADE PLYWOOD	SPECIES: OAK	QT-2	QUARRY TILE	T.B.D.
			CPT-3	CARPET	T.B.D.	HRWD-1	STAIN GRADE HARDWOOD	SPECIES: MAPLE	QT-3	QUARRY TILE	T.B.D.

**LEGEND**



**KEYNOTES**

- 701 SAMPLES FOR ARCHITECT REVIEW, OWNER APPROVAL, PRIOR TO ORDERING, PURCHASING, INSTALLING. CONTRACTOR TO REVIEW ALL MATERIAL SCHEDULES, MILLWORK AND FINISH PLANS. CONTACT ARCHITECT WITH CONFLICTS WITH DESIGN INTENT.
- 702 PROVIDE TRANSITION STRIP, SEE DETAIL 4/A-6.9
- 703 WOOD TRANSITION STRIP TO MATCH NEW HWF.
- 704 DIRECTION OF HWF.



**BOWMAN-JACKSON RESIDENCE**  
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COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
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WWW.RICHOSTELLEY.COM

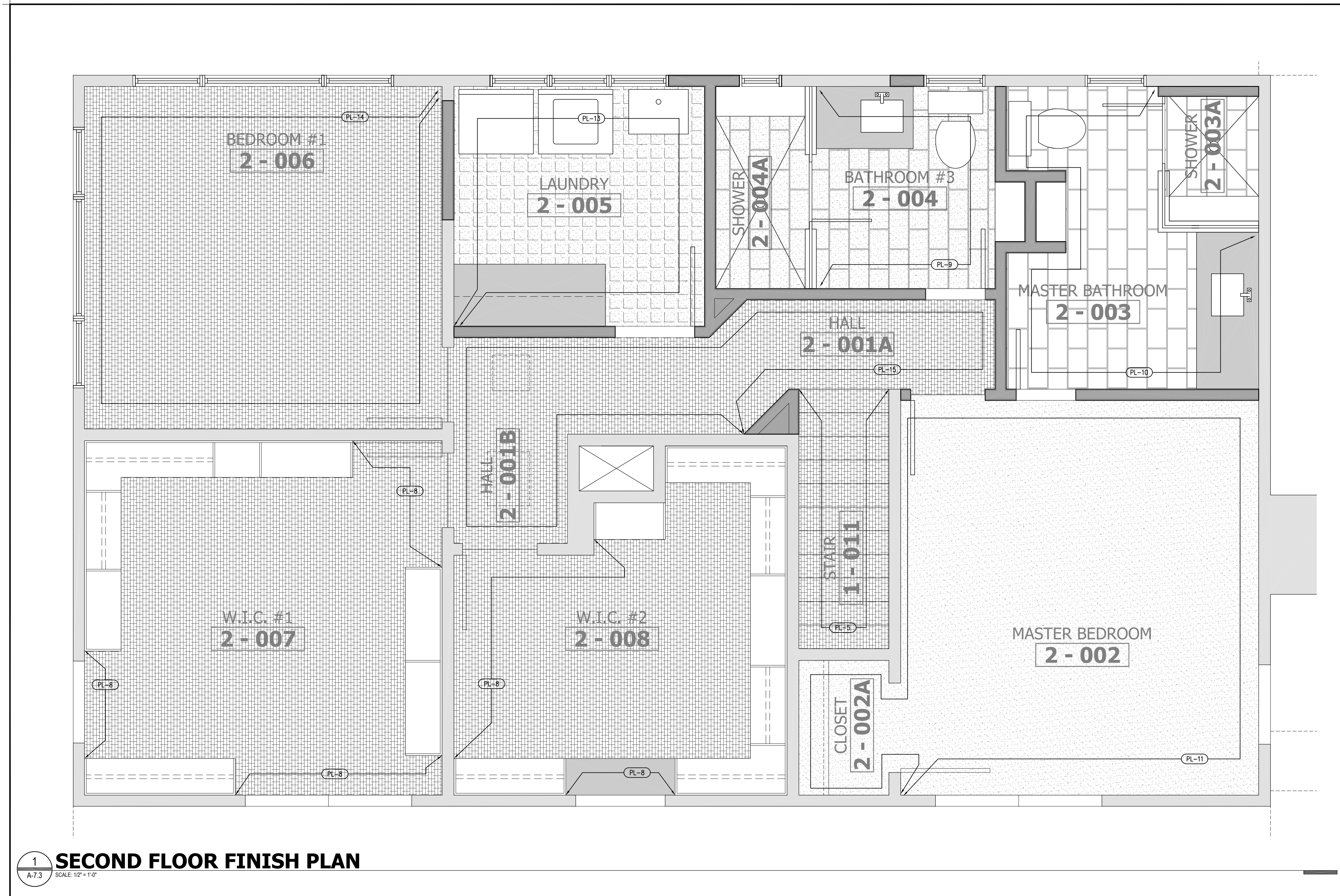
**FIRST FLOOR FINISH PLAN**

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**1 SECOND FLOOR FINISH PLAN**  
A-7.3 SCALE: 1/2" = 1'-0"

MATERIAL SCHEDULE				LEGEND				
MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS	MARK NO.	ITEM	SPECIFICATIONS
EXG-1	EXISTING		PL-8	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-1	VINYL COMPOSITE TILE	T.B.D.
HWF-1	HARDWOOD FLOORING	T&G SELECT CHERRY STRIP FLOORING	PL-9	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-2	VINYL COMPOSITE TILE	T.B.D.
HWF-2	EXISTING HARDWOOD FLOORING	REFINISH EXISTING HWF.	PL-10	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-3	VINYL COMPOSITE TILE	T.B.D.
P-1	PAINT	DRY-LOK, 1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-11	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	VCT-4	VINYL COMPOSITE TILE	T.B.D.
PL-1	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-12	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-1	WOOD BASE STAIN	COLOR: NATURAL 209
PL-2	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-13	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-2	WOOD BASE STAIN	COLOR: GOLDEN OAK 210B
PL-3	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-14	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-3	WOOD BASE STAIN	COLOR: EBONY 271B
PL-4	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	PL-15	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	ST-4	WOOD BASE STAIN	COLOR: RED OAK 215
PL-5	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D.	P0-1	OLIALKYD SEMI GLOSS FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	PLY-1	STAIN GRADE PLYWOOD	SPECIES: MAPLE
PL-6	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	CPT-1	CARPET	T.B.D.	PLY-2	STAIN GRADE PLYWOOD	SPECIES: BEECH
PL-7	LATEX FINISH PAINT	1 COAT PRIMER & (2) FINISH COATS, COLOR T.B.D., EGGSHELL - SEMI GLOSS	CPT-2	CARPET	T.B.D.	PLY-3	STAIN GRADE PLYWOOD	SPECIES: OAK
			CPT-3	CARPET	T.B.D.	HRWD-1	STAIN GRADE HARDWOOD	SPECIES: MAPLE
						T-1	WOOD TRIM	MATCH EXISTING
						WB-1	WOOD BASE TRIM	MATCH EXISTING
						CT-1	CERAMIC TILE	T.B.D.
						CT-2	CERAMIC TILE	T.B.D.
						CT-3	CERAMIC TILE	T.B.D.
						GT-1	GLASS TILE	T.B.D.
						GT-2	GLASS TILE	T.B.D.
						GT-3	GLASS TILE	T.B.D.
						QT-1	QUARRY TILE	T.B.D.
						QT-2	QUARRY TILE	T.B.D.
						QT-3	QUARRY TILE	T.B.D.
						QT-4	QUARRY TILE	T.B.D.
						QT-5	QUARRY TILE	T.B.D.
						QT-6	QUARRY TILE	T.B.D.
						QT-7	QUARRY TILE	T.B.D.
						PLM-1	LAMINATE	COLOR: WHITE
						GR-1	GRANITE SURFACE	T.B.D.
						GR-2	GRANITE SURFACE	T.B.D.
						GR-3	GRANITE SURFACE	T.B.D.

**KEYNOTES**  
 701 SAMPLES FOR ARCHITECT REVIEW, OWNER APPROVAL, PRIOR TO ORDERING, PURCHASING, INSTALLING. CONTRACTOR TO REVIEW ALL MATERIAL SCHEDULES, MILLWORK AND FINISH PLANS. CONTACT ARCHITECT WITH CONFLICTS WITH DESIGN INTENT.  
 702 PROVIDE TRANSITION STRIP, SEE DETAIL 4/A-6.9  
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**BOWMAN-JACKSON RESIDENCE**  
 14540 COLONY COURT - WOODBRIDGE, VIRGINIA 20112  
 COUNTY OF PRINCE WILLIAM, VIRGINIA

**RICHOSTELLEY**  
 1133 WEST STREET, SUITE 100, ALEXANDRIA, VA 22304 - 703.688.8833 - WWW.RICHOSTELLEY.COM - RICHOSTELLEY@GMAIL.COM

**SECOND FLOOR FINISH PLAN**

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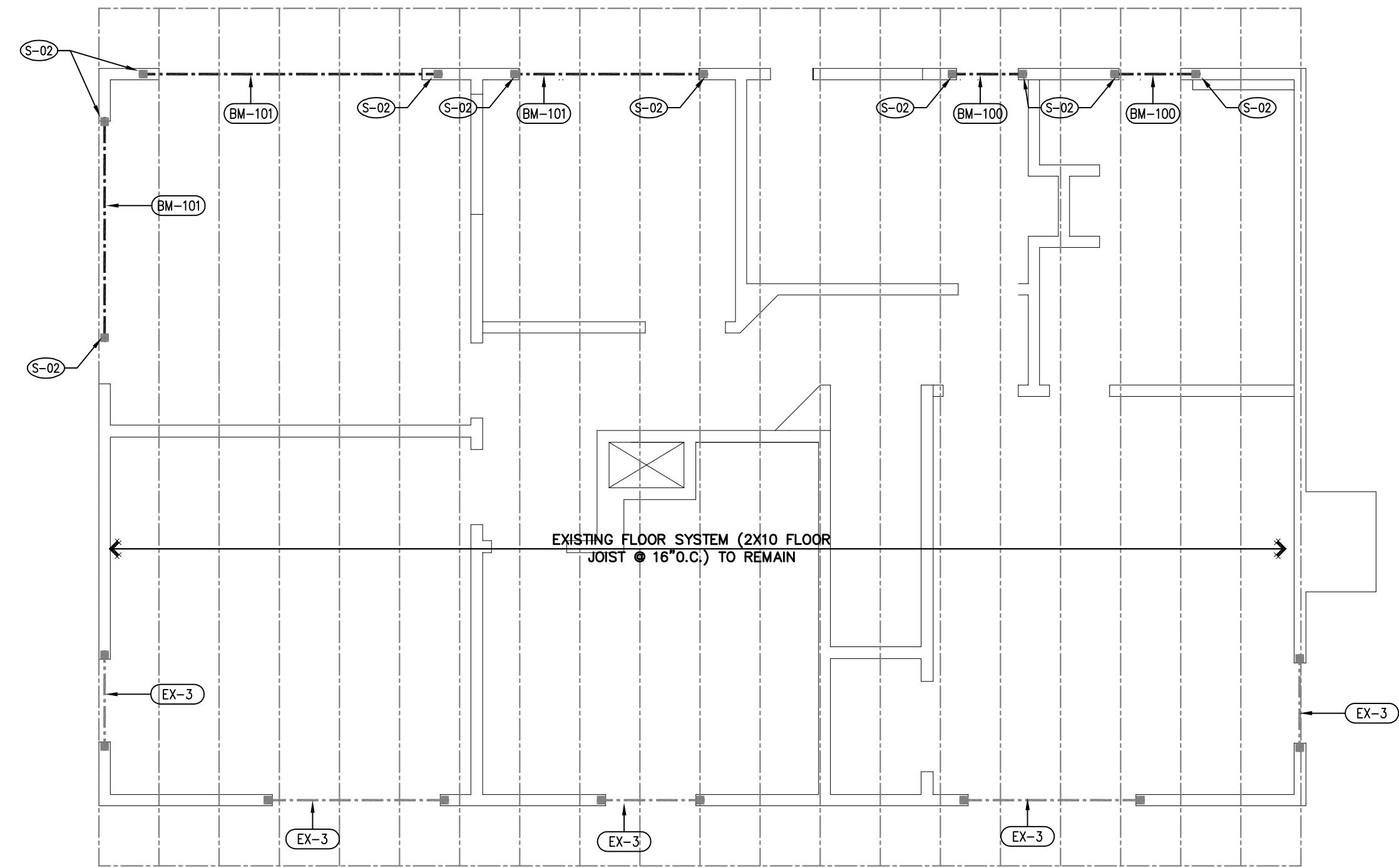
REVISION DATE	DATE	DESCRIPTION

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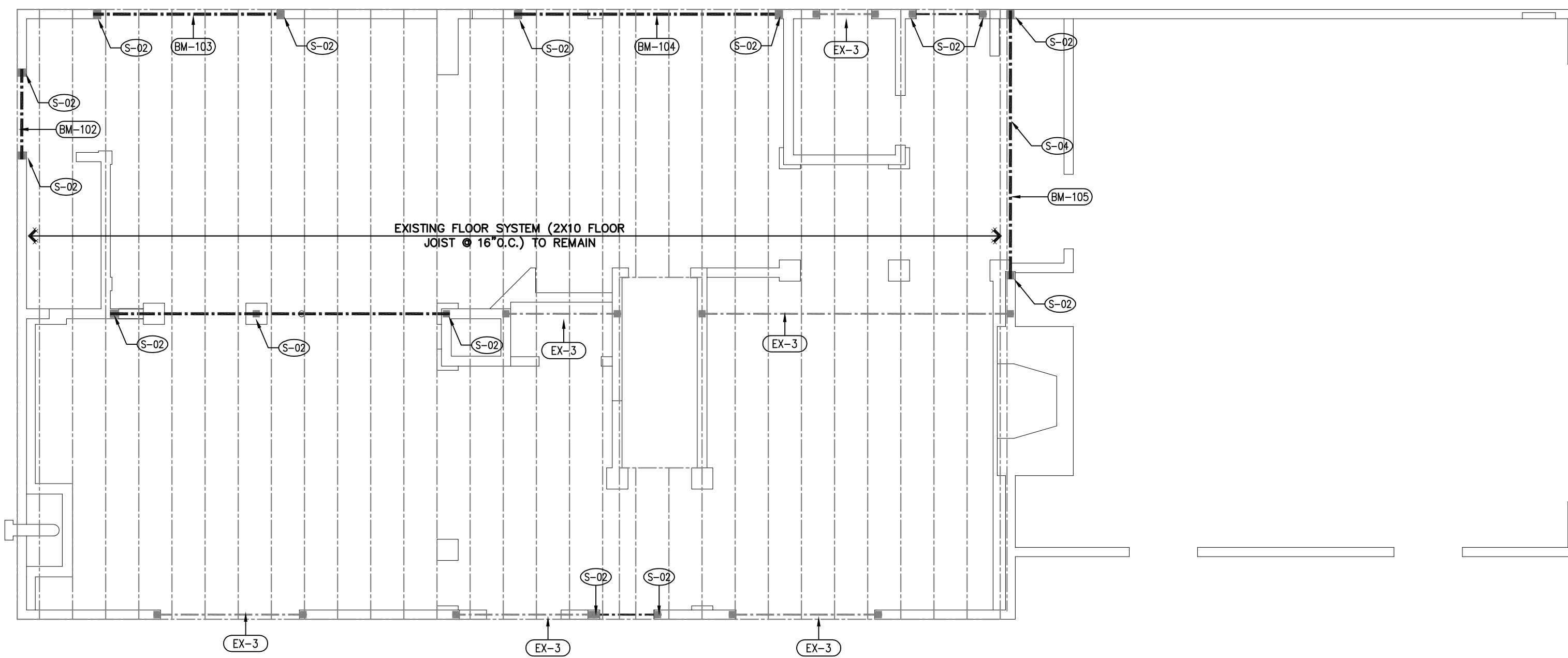
**A - 7.3**







**2 ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**1 SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

FOOTING SCHEDULE				
NO.	SIZE	DEPTH	STEEL REINFORCEMENT	NOTES

COL. / PIER SCHEDULE			
NO.	SIZE	MATERIAL	NOTES
EX-1	3-1/2" DIA.	STEEL	TO REMAIN

BEAM / HEADER SCH.				
NO.	SIZE	MAT.	TYPE	BRG. REQ'D PER ENCL.
EX-2	EXISTING BEAM	STEEL		
EX-3	EXISTING BEAM	WOOD		
BM-100	(2) 2 x 10	WOOD	HEM FIR	3"
BM-101	(2) 1-3/4" x 9-1/4"	WOOD	1.9E LVL	3"
BM-102	(2) 2 x 12	WOOD	HEM FIR	3"
BM-103	(2) 1-3/4" x 11-7/8"	WOOD	1.9E LVL	3"
BM-104	(3) 1-3/4" x 14"	WOOD	1.9E LVL	3"
BM-105	(3) 1-3/4" x 9-1/4"	WOOD	1.9E LVL	3"

CONNECTOR / HANGER - SCHEDULE		
NO.	MANUFACTURER	MANUF. ID # TYPE

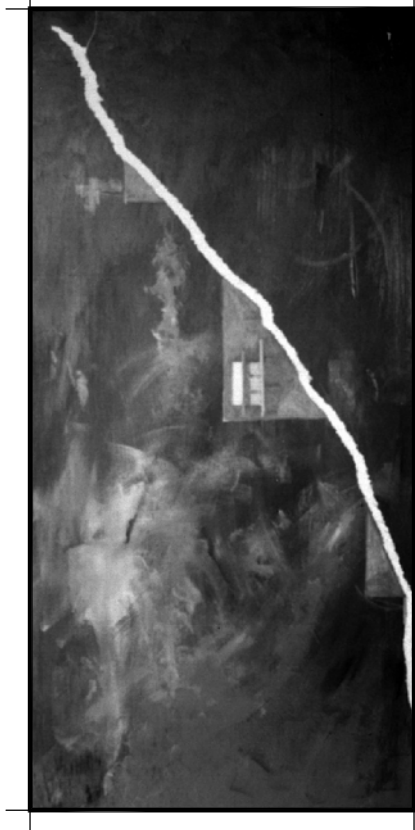
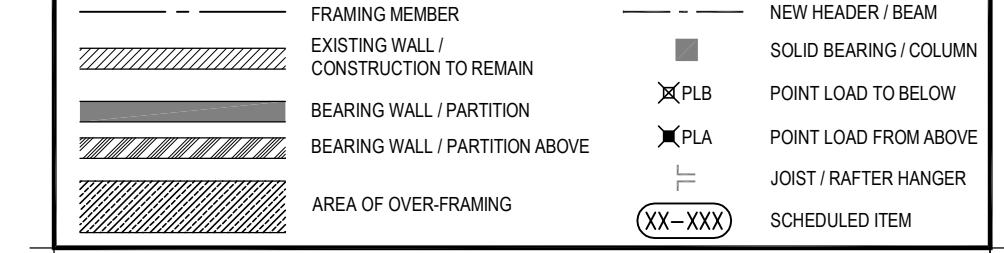
**PLAN KEYNOTES**

- S-01 EXISTING FRAMING SYSTEM, TO REMAIN.
- S-02 PROVIDE SOLID BEARING FOR HEADERS / BEAMS. SEE BEAM SCHEDULE FOR MIN. BEARING REQUIREMENTS.
- S-03 CONTRACTOR TO V.I.F. EXISTING FRAMING SYSTEM. NOTIFY ARCHITECT OF CONFLICTS WITH DESIGN INTENT.
- S-04 SEE ? / ?? FOR 3-PLY BEAM DETAILS

**FRAMING NOTES**

1. STRUCTURAL LUMBER TO BE KILN DRIED NO. 2 HEM FIR SOUTHERN YELLOW PINE, OR BETTER.
2. ALL WOOD BEAMS AND ENGINEERED FLOOR JOIST INDICATED ARE AS MANUFACTURED BY TRUSS JOIST MACMILLAN. REFER TO MANUFACTURER INSTRUCTIONS FOR NAILING / BOLTING OF MULTIPLE PIECE MEMBERS AND FOR LOCATION AND SIZE OF HOLES TO BE CUT IN FRAMING MEMBERS. SUPPLIER TO VERIFY SPANS AND SPACING INDICATED. PROVIDE DESIGNER WITH LAYOUT. MIN. TJI PERFORMANCE RATING 50.
3. DOUBLE UP JOISTS BENEATH WALLS RUNNING PARALLEL TO FRAMING, TYP.
4. ALL WALLS TO HAVE CONTINUOUS DOUBLE TOP PLATE.
5. ALL WOOD EXPOSED TO WEATHER OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY, TO BE PRESSURE TREATED, TYP.
6. SOLID BEARING LOCATIONS, AS INDICATED, TO BE SOLID WOOD 4x4 POST, U.N.O.
7. ALL FRAMING CONNECTIONS SHALL HAVE THE HANGER OR CONNECTOR OF THE TYPE & GAUGE RECOMMENDED BY MANUFACTURER FOR THE SPECIFIC FRAMING CONNECTION. ALL FASTENERS EXPOSED TO WEATHER SHALL BE GALVANIZED.
8. HANGERS & CONNECTORS TO BE SIMPSON OR EQUAL.
9. INSTALL HEADERS AS HIGH AS POSSIBLE. FRAME DOWN FOR OPENING AS REQUIRED.
10. ALL POINT LOADS FROM ABOVE TO BE TRANSFERRED TO FOOTING BY WAY OF SOLID POST - WHETHER INDICATED OR NOT.
11. ALL EXTERIOR WALLS TO RECEIVE 1/2" SHEATHING FOR A MIN. OF 4' FROM CORNER, U.N.O.
12. PROVIDE LATERAL SUPPORT FOR ALL BEAMS / JOIST @ BEARING.

**LEGEND**



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**SECOND FLOOR / ROOF FRAMING PLANS**

NOTES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

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